AGENDA

Town Of Indialantic Local Planning Agency/Zoning and Planning Board 216 Fifth Avenue, Indialantic, FL, 32903, Council Chamber Tuesday, April 27, 2021 AT 5:30 P.M.

A. Call to Order:

Rick Bertel, Chair Ed Mackiewicz, Vice Chair Ann Bernick, Member Dan Sullivan, Member Christopher Mullen, Member Michael Lentini, 1st Alternate Alan King, 2nd Alternate Les Hatter, School Board Representative

B. Approval of Prior Meeting Minutes:

1. March 23, 2021 Regular Meeting Minutes

C. New Business:

 Site Plan: Tiffany's Spa and Nail Inc. Address: Parcel ID 27-38-31-EO-62-12 corner of Watson Drive/SR A1A Applicant/Owner: Bruce Moia, P.E., MBV Engineering Inc./Hung Nguyen Project Description: 3,470 sq. ft. building with 2,470 sq. ft. to be used for nail salon and 1,000 sq. ft. to be used for restaurant

D. Reports – Building Official:

E. Adjourn:

NOTICE: Pursuant to Section 286.0105, Florida Statutes, the Town hereby advises the public that if a person decides to appeal a decision made by this Board with respect to any matter considered at its meeting or hearing, he or she will need a record of the proceedings and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes testimony and evidence upon which the appeal is to be based, as the Town does not provide one. Americans with Disabilities Act: Persons planning to attend the meeting who require special assistance must notify the Office of the Town Clerk at 321-723-2242 no later than 48 hours prior to the meeting.

Meeting Minutes Town Of Indialantic Local Planning Agency/Zoning and Planning Board 216 Fifth Avenue, Indialantic, FL, 32903, Council Chamber Tuesday, March 23, 2021 AT 5:30 P.M.

A. Call to Order:

A meeting of the Local Planning Agency/Zoning and Planning Board was called to order by Vice Chair Mackiewicz at 5:35 p.m. with the following members present:

Ed Mackiewicz, Vice Chair Ann Bernick, Member Dan Sullivan, Member Christopher Mullen, Member Michael Lentini, 1st Alternate

Also present: Michael Casey, Town Manager Cliff Stokes, Building Official Rebekah Raddon, Town Clerk

B. Approval of Prior Meeting Minutes:

1. January 26, 2020 2021 Regular Meeting Minutes

Motion by Member Bernick, seconded by Member Sullivan, and vote unanimous to approve the Jan. 26, 2021 meeting minutes. Motion carried 5-0.

C. New Business:

 Site Plan: Tiffany's Spa and Nail Inc. Address: Parcel ID 27-38-31-EO-62-12 corner of Watson Drive/SR A1A Applicant/Owner: Hung Nguyen Project Description: 2,400 sq. ft. nail salon and 1,000 sq. ft. restaurant

Mr. Casey noted that Hung Nguyen is not the current owner of the property and the Town is waiting receipt of an owner authorization. As such, the board cannot vote regarding the site plan at this meeting. The engineer for the project, Bruce Moia with MBV Engineering Inc., is present however and may answer questions about the plans.

Mr. Stokes indicated that the plans appear to meet the Town's requirements, however, he has concerns regarding parking, which he feels may not accommodate employee and customer parking based on the number of nail stations shown on the plans. Mr. Stokes cautioned that employees and patrons will not be allowed to utilize the parking spaces in the Publix parking lot or the realty parking lot and will be towed if that occurs. He would like to

know the number of employees that will be working at one time and the number of manicure and pedicure stations. He noted that the Town's code doesn't specifically address nail salon parking; parking is based on the square footage of the building. The board can put a condition on the site plan approval. Mr. Casey noted that the plans include an adjoining restaurant, and one parking space is required for every 3 seats in the restaurant. The plans meet the Town's requirements for restaurant parking. He commented that the seats in the waiting area aren't included in calculations for restaurant parking.

Bruce Moia, MBV Engineers, INC., answered questions from the board. He noted that there will be a firewall between the nail shop and restaurant and no access between the two businesses. The restaurant will see more patrons in the evening hours whereas the nail shop will be mostly utilized during the day. He noted that the plans meet all code requirements, however, he will resubmit them and include the number of stations. Mr. Stokes inquired about the hours of operation for the businesses.

Chair Rick Bertel entered the meeting at 5:45 p.m.

Mr. Casey commented that a stormwater maintenance agreement will be needed. Mr. Stokes requested the signage not be shown on the plans as signs are done separately by permit. There was further discussion regarding potential traffic and parking issues; a board member inquired about traffic information on sheet C-09.

2. Ordinance 2021-05 relating to zoning requirements for mobile food dispensing vehicles:

Mr. Casey provided background information regarding the legislative changes that prompted the drafting of this ordinance, and answered numerous questions asked by the board.

Chair Bertel asked for public comments; Candice Galleon, 1390 Stewart Ave, Melbourne, spoke. In summary, she explained that as a food truck owner she feels the ordinance is putting up barriers. The state treats food trucks like restaurants with regard to permitting, inspections, and licensing, which is very costly. To be successful, a food truck needs to have a following and limiting the number of days makes it hard to create a following.

Lengthy discussion followed; a board member noted that food truck operators could consider opening a brick and mortar restaurant if they want to sell food more frequently than what is allowed in the ordinance.

Motion by Member Sullivan, seconded by Member Mullen to find Ordinance 2021-05 consistent with the Town's Comprehensive Plan.

Several board members indicated they would like to see other cities' rules for food trucks. It was the consensus of the board that the ordinance could be amended in the future if it was found to be too restrictive.

- D. Reports Building Official: None.
- E. Adjourn:

Motion by Vice Chair Mackiewicz, seconded by Member Mullen, and vote unanimous to adjourn the meeting at 6:51 p.m.

Rick Bertel, Chair

Attested by:

Rebekah Raddon, CMC, Town Clerk



APPLICATION FOR SITE PLAN REVIEW



This application must be completed and returned with all enclosures referred to herein to the office of the Building Official of the Town of Indialantic, Florida. This application will be referred to the Zoning and Planning Board for their study and recommendation. You will be advised of the date and time of the meeting before the Zoning and Planning Board. You may appear at the meeting in person or be represented by an authorized agent. If you cannot attend the meeting, you should make arrangements to have an authorized representative appear on your behalf as the application can be acted upon by the Board even in your absence.

- 1. Applicant: Tiffanys Spa and Nail Inc. Hung Nguyen (new owner)
- 2. Site Address: Address not yet assigned. Corner of Watson Drive and SR A1A.

Parcel ID 27-38-31-EO-62-12

- 3. Contact's Name: Bruce Moia, P.E., MBV Engineering Inc.
- 4. Contact's Phone: _______321-253-1510
- 5. Contact's Mailing Address: 1250 W. Eau Gallie Blvd., Suite H, Melbourne, FL 32935
- 6. Contact's Email Address brucem@mbveng.com
- 7. Legal Description Of Property Covered by This Application (Including Subdivision, Block and Lot(s): ______

Indialantic by the Sea, Lot 12, Blk 623 Pb 0003 Pg 0035

- 8. Zoning District:
- 9. Property Owner, If Different Than Applicant (Owner Authorization Required):
- 10. Property Owner's Mailing Address: _____

2642 Shellwood Drive, Melbourne, FL 32934

11. Description of Project: <u>3,470 sf building with 2,470 sf to be used as nail salon and</u> 1,000 sf to be used for resturaunt.

New Site Plan / Site Plan Modification (Circle One)

PROCEDURES FOR OBTAINING SITE PLAN APPROVAL SHALL BE AS FOLLOWS:

- (1) PREAPPLICATION CONFERENCE: The applicant shall meet with the Building Official to discuss basic site plan requirements, consider preliminary features of the site and the proposed development, and determine if the proposed use conforms to the zoning requirements of the district.
- (2) SITE PLAN CHECKLIST: The applicant shall properly fill out a checklist provided by the Building Official. This checklist will summarize the site plan and it will be used as a guide for site plan evaluation.
- (3) PRELIMINARY SITE PLAN: Following the pre-application conference, 12 copies of a preliminary site plan prepared by a registered civil engineer or architect showing the proposed general layout, and a vicinity map showing the location of abutting streets, existing and proposed utilities, and storm drainage systems in accordance with the site plan requirements shall be submitted to the Building Department.
- (4) REVIEW AND RECOMMENDATIONS: Applications for site plan approval shall be submitted to the Building Official, who shall forward copies of the proposed plans to the Fire Department for its written recommendations regarding health, safety and welfare.

Upon completion of the above four steps and receipt of the recommendation from the Fire Department, the Zoning and Planning Board shall review the site plan and any recommendations at their next regular meeting.

Per Indialantic Code Section 113-27, Site Plan Review:

The zoning board shall not approve such plan unless it finds that such site plan conforms to all applicable provisions of the Town Code of Ordinances, that adequate off-street parking and loading facilities are provided for owners, tenants, visitors, and employees, and that adequate protection and separation are provided for contiguous and nearby residential property.

The zoning board may attach to its approval of a site plan any reasonable conditions, limitations or requirements which are found necessary in its judgment to effectuate the purpose of this section and carry out the spirit and purpose of the zoning ordinance.

Modification of site plan. Any change in use of buildings, structures, land or water, or institution of new uses, or alteration of or addition to buildings or structures shall be in accordance with a new or modified site plan conforming and approved pursuant to this section.

Approval time limit. The site plan approval shall terminate 540 days (18 months) thereafter if construction has not been started. Two extensions of up to 180 days (6 months) may be made by the zoning and planning board at its discretion for good cause shown, such as but not limited to delays in obtaining development permits from other governmental agencies or project financing delays.

(Code 1962, 28-98A; Ord. No. 217, 1, 10-18-77; Ord. No. 89-11 2, 4-18-89, Ord. No. 2019-12, 11-13-19)

SITE PLAN CHECK LIST

In reviewing such site plan the zoning board shall consider the location, size, height, spacing, appearance, character and utilization of any building, structure or use and their appurtenances, access and circulation of vehicles and pedestrians, streets, parking area, yards and open spaces, landscaping, and relationship to adjacent property.

A site plan shall include, but not necessarily be limited to the following:

- _____ (a) Site plan with grades or contours.
- _____(b) Elevations, floor plans and uses of all buildings and structures.
- _____ (c) Location and character of all outside utilities.
- _____(d) All curb cuts, driveways, parking areas, loading areas, and surfacing materials of same.
- _____ (e) All pedestrian walks, malls, yards, and open spaces.
- _____ (f) Location, size, character, height and orientation of all signs.
- _____ (g) Location, height and general character of walls and fences.
- (h) Location and general character of landscaped areas and the common and botanical name of all trees, shrubs, and plants, with the number and size of each category or individual item, and the proposed watering and continued care in order to maintain the landscaping in accordance with approved site plan.
- (i) All buildings constructed in those areas designated as special hazard areas on the current flood hazard boundary maps published by the Department of Housing and Urban Development, Federal Insurance Administration, shall have all finished floor elevations related to Coast and Geodetic Survey mean sea level datum.
- _____(j) Storm Drainage System.

OWNER AUTHORIZATION Site Plan Submittal

I, Hung M Nguyen, President Tiffanys Spa and Nail	Inc.owner of the following property:	
Lot(s) <u>12</u> Block <u>62</u>		
Street Address: Not assigned, Parcel ID 27-38-31-	EO-62-12 Indialantic, Florida, 32903	
do hereby authorizeBruce Moia, P.E., MBV Engi	neering, Inc.	to submit a site plan
application on my behalf.		
Hun Agarde	Hung M Nguyen	
Signature (Owner)	Printed Name (Owner)	-
State of Florida		
Brevard County		
The foregoing Owner Authorization was acknowled [] physical presence or [] online notarization, this [] Hung M. Nguyen (owner).	ged before me by means of: sday of	, 20 <u>2</u> , by
Notary Seal:	Lyauch Warty	
WANDA WALKER Notary Public-State of Florida Commission # GG 346055 My Commission Expires October 17, 2023 ally Known	(Signature of Notary Pu / _ OR Produced Identification:	ıblic – State of Florida)

B.S.E. CONSULTANTS, INC.

Consulting ~ Engineering ~ Land Surveying



Scott M. Glaubitz, P.E., P.L.S. President

> Hassan Kamal, P.E. Vice President

February 1, 2021

<u>Via Email</u> Mr. Michael Casey Town Manager Town of Indialantic 216 Fifth Avenue Indialantic, FL 32903 Email: mcasey@indialantic.com

Re: Town of Indialantic – Tiffany's Beachside ~ 1st Review B.S.E. File # 89080.153

Dear Mike:

We have conducted a review of the plans from MBV Engineering dated January 19, 2021 for the above reference project and have the following comments:

- 1. Stormwater calculations submitted directly to B.S.E. APPROVED
- 2. Please submit signed and sealed surveys.
- 3. Please use HPP pipe instead of ADS.

Should you have any questions please do not hesitate to contact or office.

Very truly yours,

Scott M. Glaubítz, P.E., P.L.S.

Scott M. Glaubitz, P.E., P.L.S. President B.S.E. Consultants, Inc.

SMG/jhm 89080.153.Town.corr.21-s4899.feb

B.S.E. CONSULTANTS, INC.

Consulting ~ Engineering ~ Land Surveying



Scott M. Glaubitz, P.E., P.L.S. President

> Hassan Kamal, P.E. Vice President

April 20, 2021

<u>Via Email</u> Mr. Michael Casey Town Manager Town of Indialantic 216 Fifth Avenue Indialantic, FL 32903 Email: mcasey@indialantic.com

Re: Town of Indialantic – Tiffany's Beachside ~ 2nd Review B.S.E. File # 89080.153

Dear Mike:

We have conducted a second review of the plans. We have no further engineering comments.

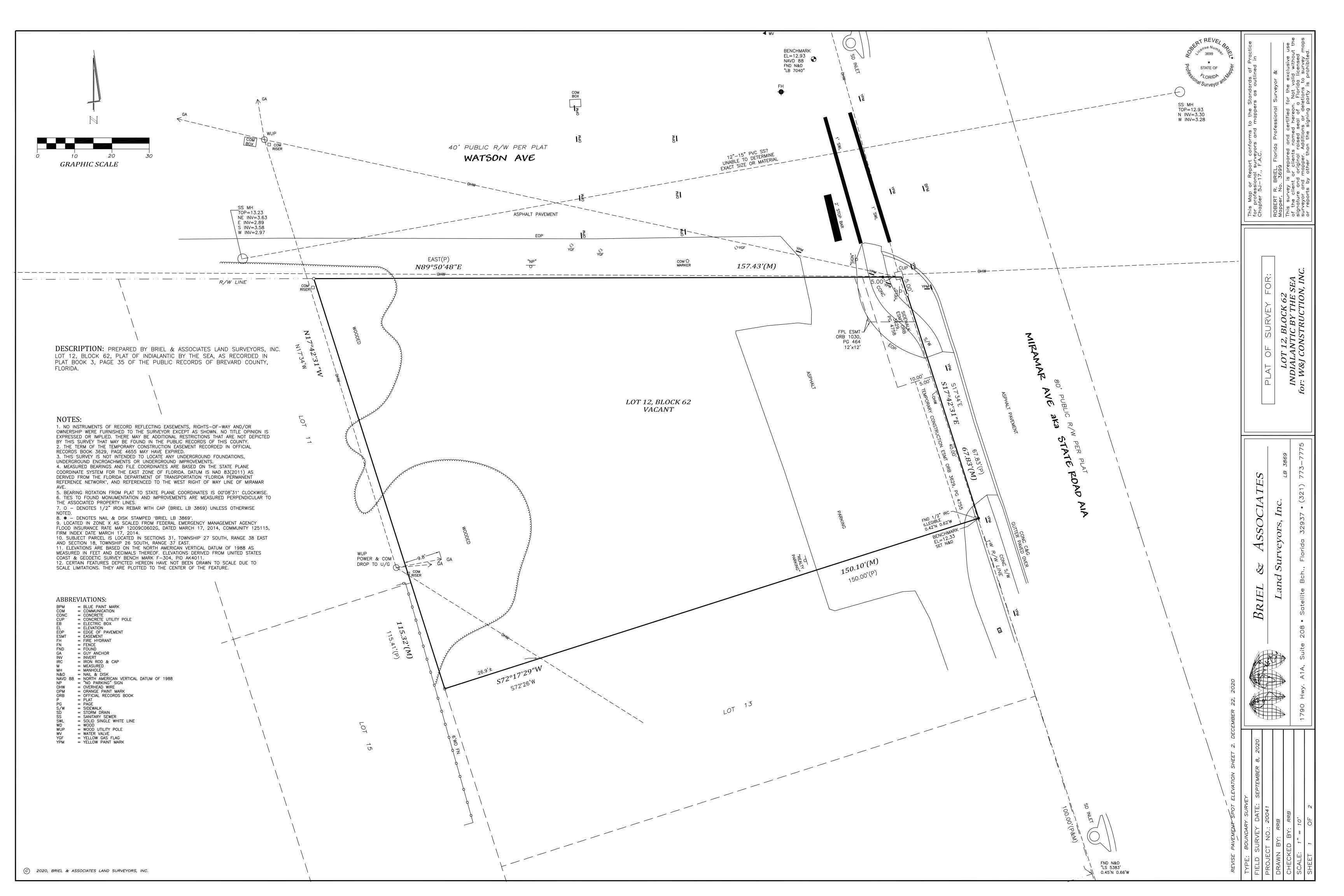
Should you have any questions please do not hesitate to contact or office.

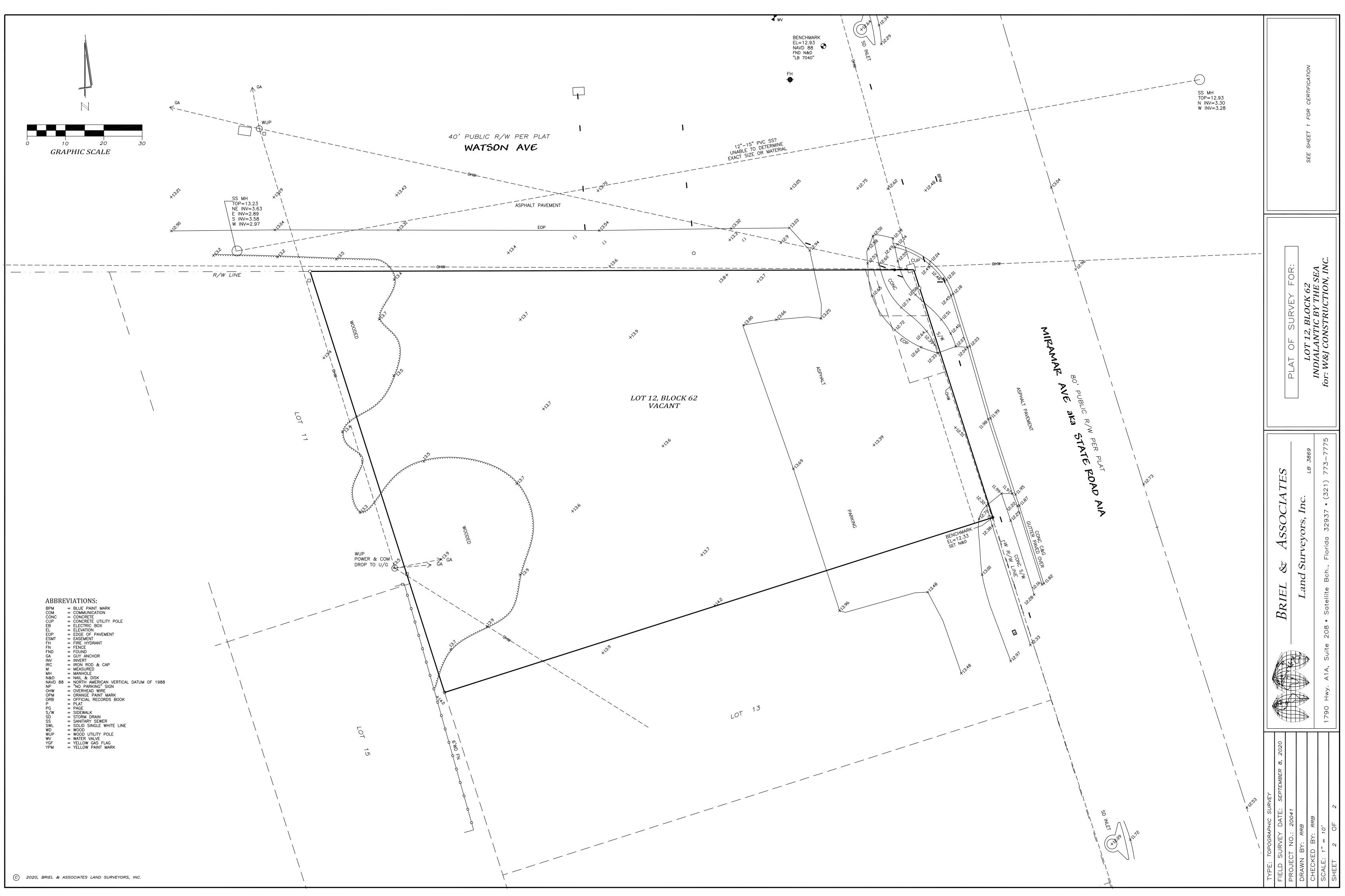
Very truly yours,

Scott M. Glaubítz, P.E., P.L.S.

Scott M. Glaubitz, P.E., P.L.S. President B.S.E. Consultants, Inc.

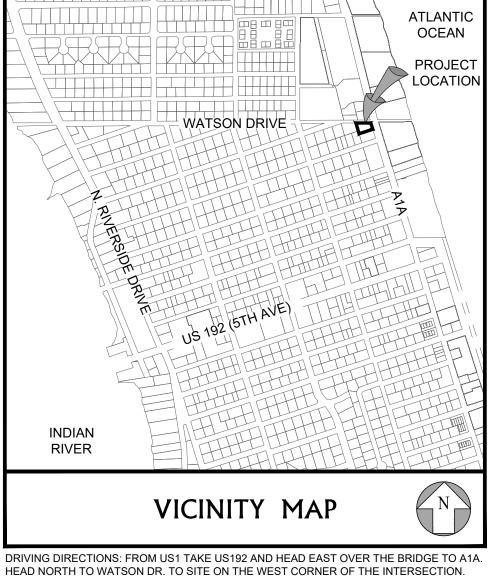
SMG/jhm 89080.153.Town.corr.21-s5009.apr











TIFFANY'S BEACHSIDE

SECTION 31, TOWNSHIP 27S, RANGE 38E INDIALANTIC, FLORIDA

JANUARY 2021 REVISED: FEBRUARY 18, 2021 REVISED: MARCH 16, 2021 REVISED: APRIL 9, 2021

APPLICANT/OWNER

HUNG NGUYEN 2642 SHELLWOOD DRIVE MELBOURNE, FL 32934





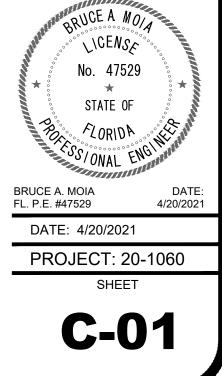
Civil • Structural • Surveying • Environmental 1250 W. EAU GALLIE BLVD., SUITE H MELBOURNE, FL 32935 PH: (321) 253-1510 VERO BEACH, FL - PH: (772) 569-0035 FT. PIERCE, FL - PH: (772) 468-9055 PALM CITY, FL - PH: (772) 426-9959

SURVEYOR

BRIEL & ASSOCIATES Land Surveyors, Inc.

1790 HWY. A1A - SUITE 208 SATELLITE BEACH, FL 32937 (321)773-7775

	Sheet List Table
Sheet Number	Sheet Title
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	EXISTING SITE AND DEMOLITION PLAN
C-04	EROSION CONTROL DETAILS
C-05	SITE PLAN
C-06	PAVING, GRADING, AND DRAINAGE PLAN
C-07	UTILITY PLAN
C-08	SECTIONS
C-09	NEIGHBORHOOD CONNECTION PLAN
C-10	GENERAL DETAILS
C-11	FDOT DETAILS
C-12	UTILITY DETAILS
L-01	LANDSCAPING PLAN



REQUIRED PERMITS TOWN OF INDIALANTIC SITE PLAN APROVAL

SJRWMD 10-2 CITY OF MELBOURNE WATER BREVARD COUNTY SEWER FDOT DRIVEWAY EXEMPTION FDOT DRAINAGE EXEMPTION FDOT UTILITY PERMIT

TOWN OF INDIATL	ANTIC	
TOWN PERMIT NUMBER:		
FDOT		-
FDOT PERMIT NUMBER:	2021-A-590-00003 2021-D-590-00002	
CITY OF MELBOUF	INE WATER	
CITY PROJECT:	UTIL2021-0001	

CONSTRUCTION NOTES

- 1. THE CONTRACTOR IS ADVISED TO THOROUGHLY REVIEW THIS PLAN PACKAGE SO AS TO BE TOTALLY PREPARED TO PRESENT HIS BID PRICES IN THE CONTRACT DOCUMENTS. THE PLAN PACKAGE SUFFICIENTLY DELINEATES THE SCOPE AND INTENT OF THE ROADWAY WORK TO BE ACCOMPLISHED. IT WILL, THEREFORE, BE INCUMBENT ON THE CONTRACTOR TO ADJUST HIS FEE DOLLARS TO REFLECT ANY AND ALL ITEMS WHICH MAY NOT BE CLEARLY OUTLINED OR THOSE ITEMS WHICH MAY NOT BE INDICATED BUT WHICH ARE NECESSARY FOR THE SUCCESSFUL COMPLETION OF THIS PROJECT WITHOUT ADDITIONAL COSTS TO THE OWNER.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF INDIATLANTIC AND FDOT STANDARDS AND SPECIFICATIONS.
- 3. THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS BASED ON AVAILABLE RECORDS AND IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO AND IS RESPONSIBLE FOR THE COORDINATION OF UTILITY RELOCATION.
- 4. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN THE FIELD WITH UTILITY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. UTILITY OWNERS LISTED BELOW.
- 5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATION, AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT. NOTIFY SUNSHINE AT 811.
- 6. UTILITIES ARE TO BE ADJUSTED BY UTILITY OWNER OR AS DIRECTED BY THE ENGINEER.
- 7. SURFACE INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INCLURE OF THE ENGINEER IF ADDITIONAL INFORMATION IS AVAILABLE, TO MAKE ARRANGEMENTS TO REVIEW SAME PRIOR TO BIDDING, AND IS TO MAKE HIS OWN DETERMINATION AS TO ALL SUBSURFACE CONDITIONS.
- 8. CONTRACTOR SHALL NOTIFY THE ENGINEER IF SOIL OR SUBSURFACE CONDITIONS UNSUITABLE FOR CONSTRUCTION ARE ENCOUNTERED.
- 9. ALL EXCAVATED SOILS DEEMED SUITABLE AS FILL MATERIAL AS DETERMINED BY THE ENGINEER SHALL BE UTILIZED ON SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. THE EXACT LOCATION OF DELIVERY ON SITE SHALL BE DETERMINED BY THE ENGINEER. ALL EXCAVATED SOILS DEEMED UNSUITABLE SHALL BE DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE.
- 10. ITEM IN CONFLICT WITH DESIGN SUCH AS EXISTING CURBS AND GUTTERS, SIDEWALKS, DRAINAGE STRUCTURES, PAVEMENT AND EXCESS EXCAVATIONS ARE TO BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A LEGAL AND PROPER MANNER AWAY FROM THE JOB SITE AT HIS OWN EXPENSE.
- 11. IT SHOULD BE NOTED THAT THE OCCUPATIONAL SAFETY AND HEALTH ACT PROHIBITS THE OPERATING OF EQUIPMENT OR MACHINES CLOSER THAN TEN (10) FEET TO ENERGIZED ELECTRIC LINES RATES AT FIFTY KILOVOLTS OR BELOW. ALSO, NO EXCAVATION IS PERMITTED WITHIN FIVE (5) FEET OF POWER POLE FACILITIES.
- 12. ALL IRONS AND MONUMENTS (P.R.M.'S) SHOWN ON PLANS, OR FOUND, SHALL BE PRESERVED. THOSE CONSTRUCTION STAKING WILL BE PERFORMED BY THE CONTRACTOR. SHOWN IN PROPOSED PAVEMENT SHALL BE PROTECTED WITH A CAST IRON VALVE BOX.
- 13. ANY PUBLIC LAND CORNERS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED OR DISTURBED, THE CONTRACTOR WILL NOTIFY THE ENGINEER
- 14. ALL EXISTING TREES WITHIN THE RIGHT OF WAY ARE TO BE REMOVED AS CLEARING AND GRUBBING UNLESS OTHERWISE NOTED. 15. WHEN REFERENCED TO, FDOT REFERS TO FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY
- AND TRAFFIC DESIGN STANDARDS, CURRENT EDITION. 16. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO A CONDITION
- EQUAL TO, OR BETTER THAN, THAT NOW EXISTING.
- 17. BACKFILL, GRADE AND SOD AS REQUIRED AROUND ALL NEW CONSTRUCTION AND ALL DEVELOPED LOTS TO PREVENT EROSION. SEED AND MULCH WILL ONLY BE ALLOWED TO RESTORE UNDEVELOPED LIMEROCK BASE AND CEMENTED COQUINA SHELL BASE SHALL BE CONSTRUCTED IN ACCORD. LOTS AFFECTED BY CONSTRUCTION OR AS DIRECTED BY THE ENGINEER.
- 18. SODDING TO BE USED AT LOCATIONS AS DIRECTED BY THE ENGINEER. 19. ALL DISTURBED AREAS DUE TO UTILITY TRENCHING WITHIN RIGHTS-OF-WAY NOT BENEATH PAVED
- SURFACES SHALL BE FITHER SODDED OR HYDROSEEDED 20. PROPERTY OWNERS AND BUSINESSES WITHIN THE AREA OF CONSTRUCTION SHALL BE GIVEN
- ACCESS TO THEIR PROPERTY AT ALL TIMES DURING THE PERIOD OF CONSTRUCTION. 21. ALL MAILBOXES SHALL BE RELOCATED BY THE CONTRACTOR AS DIRECTED BY THE U.S. POSTAL MAIL
- CARRIER. 22. THE CONTRACTOR SHALL REMOVE, COVER OR OBLITERATE EXISTING ROADWAY SIGN AND
- PAVEMENT MARKINGS THAT CONFLICT WITH THE CONSTRUCTION TRAFFIC CONTROL PLANS. 23. CONTRACTOR TO PROTECT ALL SPRINKLER HEADS NOT IN CONFLICT WITH DESIGN AND RELOCATE ALL THOSE WHICH ARE IN CONFLICT TO A LOCATION DETERMINED IN FIELD.
- 24. SOD TWO (2) FEET MINIMUM ALONG SIDE PROPOSED EDGE OF PAVEMENT.
- OF THE VARIOUS PERMITS WHICH WILL BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- 26. THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY DRAINAGE MEASURES AS REQUIRED TO ADEQUATELY DRAIN THE PROJECT AND ANY TEMPORARILY TRAVELED ROADWAYS. TEMPORARY DRAINAGE DESIGN. CONSTRUCTION AND MAINTENANCE IS THE CONTRACTOR'S RESPONSIBILITY: HOWEVER, ALL SUCH MEASURES MUST BE APPROVED BY THE ENGINEER.
- 27. THE EXISTING SIDEWALK SHALL NOT BE DISTURBED UNLESS OTHERWISE NOTED.
- 28. GRADES SHOWN ARE FINISHED GRADES.
- 29. SAWCUT CONCRETE OR ASPHALT DRIVEWAYS AS REQUIRED FOR REPLACEMENT.
- 30. ALL ABANDONED UTILITIES (INCLUDING PIPES, CABLES AND STRUCTURES) FOUND IN THE RIGHT OF WAY AND NOT SHOWN ON THE PLANS ARE TO BE REMOVED AND PROPERLY DISPOSED OF AT THE EXPENSE OF THE CONTRACTOR. THIS INCLUDES ALL EXOTIC PIPES LIKE ASBESTOS-CEMENT PIPE. COST TO BE INCLUDED IN CLEARING AND GRUBBING ITEM.
- 31. DRIVEWAY LOCATIONS AND WIDTHS ARE APPROXIMATE AND ARE TO BE ADJUSTED AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
- 32. BENCHMARK DATUM IN NAVD 1988.
- 33. BACKFILL AND SOD AS REQUIRED BEYOND RIGHT OF WAY LINES ON INDIVIDUAL LOTS TO MAINTAIN POSITIVE DRAINAGE FLOW INTO CURB AND GUTTER.
- 34. GRADE AND SOD SWALES TEN (10) FEET FROM PROPOSED DITCH BOTTOM INLETS AND MITERED END SECTIONS ON SIDE STREETS AS REQUIRED.
- 35. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ₱ (BASELINE) AND 4 (CENTERLINE) CONSTRUCTION THROUGHOUT THE PROJECT.
- 36. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE (SEQUENCE OF OPERATIONS) PRIOR TO THE PRE-CONSTRUCTION MEETING.
- 37. THE CONTRACTOR SHALL REMOVE DRIVEWAY APRONS AND DRIVEWAY CULVERTS AND SHALL MAINTAIN ROUGH GRADE FOR UTILITY MODIFICATIONS.
- 38. ALL EXISTING SWALES SHALL BE PROTECTED BY THE CONTRACTOR. ANY DAMAGE TO THE SWALE LINE SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.

- 39. PAYMENT FOR INCIDENTAL ITEMS NOT SPECIFICALLY COVERED IN THE INDIVIDUAL BID I BE INCLUDED IN THE CONTRACT PRICES FOR BID ITEMS.
- 40. MAINTAIN A MINIMUM OF ONE (1) FOOT CLEARANCE BETWEEN POWER POLE AND EDGE 41. WHEN ALL OTHER PERMANENT CONSTRUCTION IS COMPLETE, THE FINAL SURFACE COU
- BE PLACED.
- 42. CONSTRUCTION OPERATIONS FOR PLACEMENT OF THE FINAL SURFACE COURSE SHALL TO A DISTANCE, AS DIRECTED BY THE ENGINEER, THE CONTRACTOR CAN COMPLETE IN C 43. THE CONTRACTOR SHALL IMPLEMENT TEMPORARY PAVEMENT MARKINGS UNTIL THE FIN COURSE HAS CURED (MINIMUM THIRTY (30) DAYS AFTER FINAL SURFACE COURSE PLACE
- TEMPORARY PAINTED MARKINGS PLACED ON THE FINAL. 44. PAVEMENT TRANSITION SHALL BE MADE IN ACCORDANCE WITH PAVEMENT TRANSITION I

ROADWAY SPECIFICATIONS GENERAL

IT IS INTENDED THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICA ROAD AND BRIDGE CONSTRUCTION" MOST CURRENT EDITION BE USED WHERE APPLICABLE F WORK, AND THAT WHERE SUCH WORDING THEREIN REFERS TO THE STATE OF FLORIDA AND I DEPARTMENT OF TRANSPORTATION AND PERSONNEL, SUCH WORDING IS INTENDED TO BE RE WITH THAT WORDING WHICH WOULD PROVIDE PROPER TERMINOLOGY, THEREBY MAKING SUC "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS THE "STANDARD SPECIFICATIONS" FOR THIS PROJECT.

IF WITHIN THAT PARTICULAR SECTION ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERI SHALL BE A PART OF THE STANDARD SPECIFICATIONS ALSO.

ALL WORK SHALL BE IN WORKMANLIKE MANNER AND SHALL CONFORM WITH ALL APPLICABLE (COUNTY, STATE AND FEDERAL REGULATIONS AND/OR CODES. THE CONTRACTOR SHALL ALSO RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED TO BEGIN WORK.

THE CONTRACTOR SHALL GIVE THE ENGINEER 24 HOURS NOTICE PRIOR TO REQUESTING INSP AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND INSPECT THE COMP WORK

THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF TWO YEA THE DATE OF PROJECT ACCEPTANCE, DURING WHICH ALL FAULTY CONSTRUCTION AND/OR MA SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. GRADING

THE CONTRACTOR SHALL PERFORM ALL GRADING NECESSARY TO ACHIEVE THE PROPOSED F INCLUDING TYPICAL SECTIONS.

ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 120 OF THE STANDARD SPECIFICATIONS. STAKING

<u>STABILIZING</u>

STABILIZED SUBGRADE SHALL BE CONSTRUCTED TO THE LIMEROCK BEARING RATIO (LBR) AS FOR THE DEPTH AND LIMITS SHOWN ON THE PLAN, AND IN ACCORDANCE WITH SECTION 160 OF STANDARD SPECIFICATIONS.

(TYPE C STABILIZATION). ALL STABILIZED AREAS SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

BASE COURSE

THE BASE SHALL BE CONSTRUCTED OF EITHER LIMEROCK MATERIAL IN ACCORDANCE WITH S OR CEMENTED COQUINA SHELL MATERIAL IN ACCORDANCE WITH SECTION 915 OF THE STANDA SPECIFICATIONS.

SECTION 200 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE ROCK I CERTIFICATION FOR CEMENTED COQUINA SHELL MATERIAL. BASE SHALL BE COMPACTED BY A OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. BASE SHALL BE APPROVED PRI COAT.

PRIME AND TACK COAT

PRIME AND TACK COAT FOR THE BASE SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE SPECIFICATIONS.

ASPHALTIC CONCRETE SURFACE COURSE (A.C.S.C.)

TYPE S-I ACSC SHALL BE CONSTRUCTED FOR THE DEPTH AND LIMITS SHOWN ON THE PLAN, ACCORDANCE WITH SECTIONS 320, AND 330 OF THE STANDARD SPECIFICATIONS. ACCEPTABLE IS SUPERPAVE IN ACCORDANCE WITH SECTION 334.

TESTING (ROAD & ASPHALT)

THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN APPROVED INDEPENDENT TESTING LA TO CONDUCT ALL REQUIRED TESTS ON SUBGRADE, BASE AND SURFACE COURSE MATERIALS 25. THE CONTRACTOR IS REQUIRED TO PERFORM HIS WORK IN ACCORDANCE WITH THE REQUIREMENTS RESULTS MUST BE SUBMITTED PRIOR TO ANY REQUEST FOR PAYMENT ON THE ABOVE ITEMS.

> THE SCHEDULE FOR TESTING OF THE ROAD CONSTRUCTION SHALL BE AS FOLLOWS: A. SUBGRADE: LIMEROCK BEARING RATIO (LBR) TESTS SHALL BE TAKEN AT INTERVALS OF NO

- THAN 200 FEET, OR CLOSER AS MIGHT BE NECESSARY IN THE EVENT OF VARIA SUBSOIL CONDITIONS. 2. DENSITY TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 200 FEET OR CLOSE
- BE NECESSARY B. BASE: 1. DENSITY TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 500 FEET OR CLOSE
- BE NECESSARY ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 1 1/2 INCH

THE LEFT EDGE, TO THE CENTER, TO A POINT 12 INCHES INSIDE THE RIGHT EDGE OF THE ITEM IF ANY TEST INDICATES THAT THE WORK DOES NOT MEET THE SPECIFICATIONS, THE SUBSTAN

SHALL BE REWORKED OR CORRECTED AND RETESTED, AT THE CONTRACTOR'S EXPENSE, UNT PROVISIONS OF THESE SPECIFICATIONS ARE MET.

ALL PASSING TESTS SHALL BE PAID FOR BY THE DEVELOPER. ALL FAILING TESTS SHALL BE PA THE CONTRACTOR.

TESTING (DRAINAGE)

THE CONTRACTOR SHALL VIDEO INSPECT ALL STORM PIPE WITHIN HIBISCUS RIGHT-OF-WAY AI COPIES TO ENGINEER OF RECORD AND CITY OF MELBOURNE. CLEAN-UF

THE CONTRACTOR MUST PROVIDE CLEAN-UP OF EXCESS CONSTRUCTION MATERIAL UPON CO OF THE PROJECT. THE SITE MUST BE LEFT IN A NEAT, CLEAN, GRADED CONDITION. DRAINAGE SPECIFICATIONS

STORM INLETS AND MANHOLES SHALL BE CONSTRUCTED IN GENERAL ACCORDANCE WITH SECTION 425 OF THE STANDARD SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION.

CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3000 PSI.

) ITEMS SHALL	PLAC	ED IN ACCORDANCE WITH ACI 318-71.
		CAST CONCRETE MANHOLES AND STORM INLETS MAY BE USED UPON THE ENGINEER'S APPROVAL OF MANUFACTURER'S SHOP DRAWINGS.
E OF SIDEWALK.		RM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 430 AND RELATED SECTIONS OF
OURSE SHALL		STANDARD SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION.
L BE LIMITED N ONE (1) DAY.		ESS OTHERWISE SPECIFIED OR INDICATED, ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE
FINAL SURFACE CEMENT). ANY	AME	ENGTH AT 28 DAYS OF 3000 PSI. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE RICAN CONCRETE INSTITUTE (ACI) BUILDING CODE AND THE APPLICABLE BUILDING CODES HAVING SDICTION IN THE AREA.
N DETAIL.		VERT PIPES
		FORCED CONCRETE PIPE (R.C.P.) SHALL BE IN ACCORDANCE WITH SECTION 449 OF THE STANDARD CIFICATIONS.
	PRE	CAST CONCRETE DRAINAGE PRODUCTS
ICATIONS FOR FOR VARIOUS DITS REPLACED UCH	ELLIF CON(PRECAST CONCRETE DRAINAGE PRODUCTS (INCLUDING BUT NOT LIMITED TO ROUND CONC. PIPE. PTICAL CONC. PIPE, UNDERDRAINS, MANHOLES, INLETS, ENDWALLS, JUNCTION BOXES, THREE SIDED C. CULVERTS, AND CONC. BOX CULVERTS) SHALL BE IN ACCORDANCE WITH SECTION 449 OF THE IDARD SPECIFICATIONS.
	REC	ORD DRAWINGS
ERRED TO, IT E CITY, SO BE	SHAL FROM TOP I FINAL	TRACTOR SHALL KEEP AND MAINTAIN RECORD DRAWINGS ON THE PROJECT SITE AT ALL TIMES WHICH L BE ANNOTATED BY THE CONTRACTOR DEPICTING ANY CHANGES MADE IN THE FIELD WHICH DIFFER A THE CONTRACT DRAWINGS. RECORD DRAWINGS SHALL INCLUDE, BUT NOT LIMITED TO, INVERT AND ELEVATIONS OF CULVERTS AND INLET STRUCTURES. CONTRACTOR SHALL SUBMIT COMPLETE AND L RECORD DRAWINGS TO ENGINEER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL
.50 BL		ECTION AND FINAL PAYMENT.
SPECTIONS MPLETED		
EARS FROM	MININ	JUM CONSTRUCTION INSPECTION CHECKPOINTS
MATERIALS		ENGINEER SHALL BE NOTIFIED: PRIOR TO ANY MAJOR DEVIATION FROM THE APPROVED PLANS.
	2.	PRIOR TO BACKFILLING ANY PIPE TRENCHES.
PLAN GRADES	3.	UPON COMPLETION OF SUBGRADE GRADING AND COMPACTION.
NS.	4.	UPON BEGINNING OF SPREADING OF ROCK BASE MATERIAL.
	5.	UPON COMPLETION OF GRADING AND COMPACTION OF THE BASE MATERIAL AND PRIOR TO PRIMING.
	6.	IMMEDIATELY PRIOR TO AND UPON APPLICATION OF A.C.S.C.
		UPON COMPLETION OF CONSTRUCTION.
AS PER PLAN		STRUCTION IN STREETS AND RIGHT-OF-WAYS
OF THE	1.	OPEN ROAD CUTS REQUIRES PRIOR APPROVAL OF THE CITY, COUNTY, STATE OR ANY OTHER AGENCY WHICH MAY HAVE JURISDICTION.
OF THE	2.	ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
	3.	ALL AREAS IN EXISTING RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION SHALL RECEIVE SOLID SOD.
SECTION 911 NDARD	4.	THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE STATE, COUNTY AND CITY AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
RDANCE WITH K PIT Y AT LEAST 98%	5.	TRAFFIC CONTROL ON ALL COUNTY AND STATE HIGHWAY RIGHT-OF-WAYS SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION.
PRIOR TO PRIME	GEN	NERAL NOTES:
	1.	CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
E STANDARD	2.	ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
IN 3LE ALTERNATE	3.	CONTRACTOR SHALL OBTAIN COPIES OF ALL REQUIRED PERMITS BEFORE COMMENCING WORK. CONTRACTOR SHALL FAMILIARIZE HIMSELF OF ALL PERMIT CONDITIONS AND PERFORM ALL WORK AN ACCORDANCE WITH ALL SAID CONDITIONS.
	4.	CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE FOR CONSTRUCTION OPERATIONS.
LABORATORY .S. TEST IS.	5.	NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR APPROVAL OF THE ENGINEER.
	6.	CONTRACTOR SHALL SUPPLY DENSITY TESTS TO ENGINEER ON ALL SUB-GRADE AND BASE. TESTS SHALL BE PREPARED PER AASHTO T-180 METHOD.
NOT MORE RIATIONS IN	7.	SLOPE GRADES FROM ELEVATIONS SHOWN TO EXISTING GRADE AT PROPERTY LINE. MAXIMUM SLOPE 3:1.
SER AS MIGHT	8.	ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE FOR ANY INSPECTION.
SER AS MIGHT	9.	ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH M.U.T.C.D. STANDARDS.
CHES INSIDE EM TESTED.	10.	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
ANDARD AREA	11.	THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
	12.	ALL STORMWATER INLETS SHALL HAVE A 6" MIN. SUMP BELOW LOWEST INVERT.
PAID FOR BY	13.	EROSION CONTROL FENCING MUST BE IN PLACE PRIOR TO GRADING.
	14.	PIPE LENGTHS AND SLOPES SHOWN ARE APPROXIMATE.
AND PROVIDE	15.	IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
	16.	ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
COMPLETION	17.	CONTRACTOR SHALL ADJUST INLET/STRUCTURE OR CONNECTION LOCATION AS REQUIRED TO ENSURE PROPOSED STRUCTURES AND PIPES ARE IN PROPER ALIGNMENT AND MATCH SLOPE OF EXISTING PIPES OR CONNECTIONS

- ENSURE PROPOSED STRUCTURES AND PIPES ARE IN PROPER ALIGNMENT AND MATCH SLOPE OF EXISTING PIPES OR CONNECTIONS. 18. THIS PLAN CONTEMPLATES ACCESS CONNECTIONS TO ADJACENT ROADS AS SHOWN.
- 19. FILL MATERIAL MAY NOT BE STOCKPILED HIGHER THAN SIX (6) VERTICAL FEET ONSITE PER TOWN OF INDIATLANTIC CODE.
- ALL REINFORCING STEEL TO BE ASTM A 615-72 GRADE 40, FYP = 40,000 PSI, AND SHALL BE HANDLED AND 20. DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT. RADII SHOWN ARE TO EDGE OF PAVEMENT.

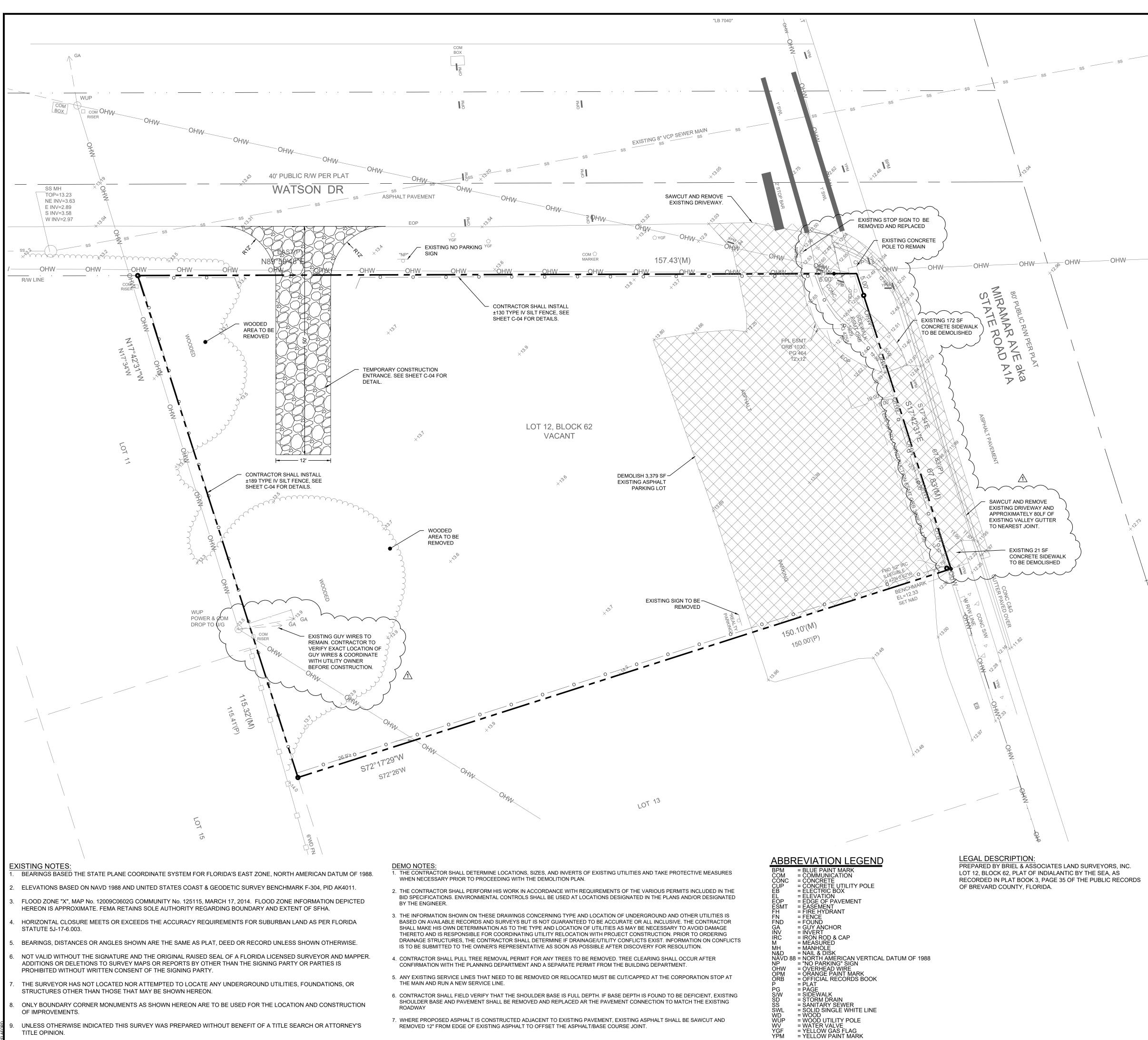
- 21. ALL SIGNS SHALL BE MUTCD STANDARD.
- 22. ALL PAVEMENT MARKINGS, EXCEPT PARKING STALL STRIPING, SHALL BE THERMOPLASTIC OF INDIATLANTIC REQUIREMENTS.
- 23. WATER FOR FIRE FIGHTING PURPOSES SHALL BE INDICATED WITH A BLUE ROADWAY REF PLACE ONE FOOT OFF OF THE CENTERLINE OF THE ROAD FACING THE FIRE HYDRANT. TH INCLUDES NEW AND EXISTING SOURCES.
- 24. CONTRACTOR SHALL ADJUST INLET/STRUCTURE OR CONNECTION LOCATION AS REQUIRE ENSURE PROPOSED STRUCTURES AND PIPES ARE IN PROPER ALIGNMENT AND MATCH SI EXISTING PIPES OR CONNECTIONS.
- 25. ANY STATE AND FEDERAL PERMITS THAT MAY BE REQUIRED AS A RESULT OF LAND CLEA LANDSCAPING ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 26. CONTRACTOR IS RESPONSIBLE TO PROTECT AND/OR REPLACE ALL SURVEY MONUMENTA LICENSED SURVEYOR IN THE STATE OF FLORIDA.

FIRE PREVENTION NOTES:

- LANDSCAPING, OR ANY OTHER OBSTRUCTION SHALL NOT BE LOCATED WITHIN 7.5 FEE
- FRONT AND SIDES OR 4.5 FEET TO THE REAR OF ANY FIRE HYDRANT OR FIRE DEPARTM CONNECTION WATER FOR FIRE FIGHTING PURPOSES SHALL BE INDICATED WITH A BLUE ROADWAY I
- PLACED ONE FOOT OFF THE CENTERLINE OF THE ROAD FACING THE FIRE HYDRANT. NEW AND EXISTING SOURCES. WATER FOR FIRE FIGHTING PURPOSES SHALL BE AVAILABLE AT THE TIME COMBUSTIB BROUGHT ON SITE.
- NEW FIRE HYDRANTS SHALL BE POSITIONED NOT MORE THAN 8 FEET NOR LESS THAN THE EDGE OF PAVEMENT. THE CENTER LINE OF THE STEAMER CONNECTION (4 $\frac{1}{2}$ ") SH POSITIONED BETWEEN 18"-24" ABOVE FINISH GRADE (I.E. SODDED OR MULCHED). ALSO HYDRANTS SHALL BE READILY ACCESSIBLE WITHOUT THE NEED TO TRAVERSE SWALE ETC.

	LEGEND									02-16-2021 xx-xx-xxx
		ASPHALT PAVEMEN	г	— — - 23 - — —	EXISTING CONTOUR ELEVATION	_				+ + +
IC PER TOWN		CONCRETE SIDEWA	LK	× 26.7	EXISTING SPOT SHOT EXISTING TREE AND SIZE					COUNTY COMMENTS
FLECTOR, THIS		STABILIZED DRIVE AREA		(SD)	EXISTING STORM MANHOLE					NTY CO
ED TO SLOPE OF	\bigcirc	STORM MANHOLE		W	EXISTING WATER MAIN					-
ARING AND		STORM INLET		SS	EXISTING SANITARY LINE					INDIATLANTIC, FDOT, COMMENTS
ATION BY A		MITERED END SECTI	ON	OHW	EXISTING OVERHEAD WIRES					INDIATLANTIC, COMMENTS
		PROPOSED STORM F	PIPE	F	EXISTING FORCEMAIN	c	0 ~ 9	ഗ 4	<u>м</u> с	
		EXISTING STORM PIF	۶E	WM S	PROPOSED WATER MAIN PROPOSED SANITARY LINE		TAC	AFR	2020	BAM
	S	SANITARY MANHOLE	<u>:</u>	GAS	PROPOSED GAS LINE	Ğ	-02		10-22-2020	BAM
	٢	FIRE HYDRANT		OHW	PROPOSED OVERHEAD WIRES					
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							DESIGNED	DRAWN	DATE	
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	ROCKLEDGE (321) 638-342		PALM BAY, F (321) 757-645		MELBOURNE, FL 32922 STEVE BERGHANE (321) 690-207	6				
	FLORIDA DE	PARTMENT OF TR	ANSPORTATIO	ON NOTES:						
				R TO PROVIDE SMOOTH				F	-	
	OUTSIDE SHALL BE	THE PROJECT DISTU	RBED FROM CO THE SURROUND	DNSTRUCTION WILL BE DING AREAS. SOD BLOC	RESTORED WITH BERMUDA SOD. ARE/ RESTORED WITH SOD. SOD INSTALLE KS SHALL BE PLACED WITH STAGGERE					
	3. ALL PAVE	EMENT MARKINGS IN	I FDOT RIGHT-	OF-WAY SHALL BE TH	RD PLANS FOR ROAD CONSTRUCTION. ERMOPLASTIC PER THE 2019/20 FDC SECTION 711 OF THE FDOT JULY 20					
	SPECIFIC	ATIONS FOR ROAD ANI	D BRIDGE CONS	TRUCTION.	REMOVED TO THE NEAREST JOINT.	1.3	ALLE	RUCE	A MO	A HARA
					RIOR TO STARTING WORK IN FDOT RIGH	HT		°°`\lC	E <i>NS</i> 47529	
	6. ALL RAISE				GHT-OF-WAY AND PROPOSED DRIVEW/ D PLANS FOR ROADWAY CONSTRUCTIC		*		47529 ★ TE OF	*
ET TO THE	1 11	6-001 AND SECTION			CIFICATIONS FOR ROAD AND BRID		PROF	, FLO	RIDA	CINE
REFLECTOR	STANDAR		ADWAY CONST	RUCTION, 2019 SPEC	BE IN ACCORDANCE WITH FDOT 2020, IFICATIONS FOR ROAD AND BRIDO	GE		SS/ON	AL EN	
THIS INCLUDES	8. ALL EXCA	VATIONS WITHIN TEN	(10) FEET OF T	HE TRAVEL LANES AND	GREATER THAN THREE (3) INCHES DEP PROP-OFF PER INDEX 102-600 SHEET 9 (EP FL	RUCE A. . P.E. #4	7529	EET	DA 4/20/2
I 6 FEET OFF	12 OF FDC	OT 2018/19 STANDARD	PLANS FOR ROA	DWAY CONSTRUCTION	AT THE END OF THE WORK DAY.				_	
IALL BE O, ALL ES, DITCHES	SMOOTH	CONSTRUCTION JOINT	- -		AND INSPECTED TO MEET CURRENT AL				O	2
	REQUIREN				0.LD TO MEET CONTENT AL					

20-1060 PRELIMINARY SET





- 1. CONTRACTOR SHALL INCORPORATE BEST MANAGEMENT PRACTICES AND EROSION CONTROLS AS SHOWN OR NOTED ON THIS PLAN TO MINIMIZE OR ELIMINATE THE POTENTIAL FOR POLLUTION DISCHARGES.
- 2. CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM ALL WORK AND MAINTAIN ALL DEVICES IN ACCORDANCE WITH FDEP NPDES STANDARDS. 3. CONTRACTOR SHALL PERFORM ALL REQUIRED INSPECTIONS AND REPORTING.
- . CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES, AS MAYBE NECESSARY, TO PREVENT OFF-SITE POLLUTION DISCHARGES.
- 5. CONTRACTOR SHALL MAINTAIN UPDATED AND REVISED SWPP TO MATCH SITE CONDITIONS THROUGHOUT CONSTRUCTION.

SS MF

-OHW-

TOP=12.93

W INV=3.28

N INV=3.30

6. CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES ONLY AFTER ALL DISTURBED AREAS ARE ADEQUATELY STABILIZED AS ACKNOWLEDGED BY APPLICABLE AGENCY INSPECTIONS.

DEWATERING PLAN NOTES

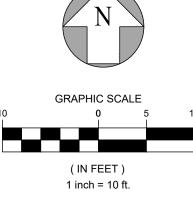
- 1. CONTRACTOR SHALL CONSTRUCT THE PROJECT IMPROVEMENTS WITHOUT DIRECT DEWATERING DISCHARGES TO OFF-SITE LOCATIONS.
- 2. ALL CONSTRUCTION METHODS FOR COMPLETION OF PROJECT IMPROVEMENTS INCLUDING DEWATERING SHALL BE COMPLETED IN A MANOR THAT WILL NOT: A. WILL NOT CAUSE ADVERSE WATER QUANTITY IMPACTS TO RECEIVING WATERS
 - AND ADJACENT LANDS. B. WILL NOT CAUSE ADVERSE FLOODING TO ON-SITE PROPERTY. C. WILL NOT ADVERSE IMPACTS TO EXISTING SURFACE WATER STORAGE AND CONVEYANCE CAPABILITIES.
 - D. WILL NOT ADVERSELY IMPACT THE VALUE OF FUNCTIONS PROVIDED TO FISH AND WILDLIFE AND LISTED SPECIES BY WETLANDS AND OTHER SURFACE WATERS
 - E. WILL NOT ADVERSELY AFFECT THE QUALIFY OF RECEIVING WATER SUCH THAT THE WATER QUALITY STANDARDS SET FORTH IN CHAPTERS 62-3, 62-4, 62-302, 62-520, F.A.C., INCLUDING ANY ANTIDEGRADATION PROVISIONS OF RULES
 - 62-4.242 (1)(A) AND (B), 62-4.242(2) AND (3), F.A.C., WILL BE VIOLATED. WILL NOT CAUSE ADVERSE SECONDARY IMPACTS TO THE WATER RESOURCES. G. WILL NOT ADVERSELY IMPACT THE MAINTENANCE OF SURFACE OR GROUND WATER LEVELS OR SURFACE WATER FLOWS ESTABLISHED ON CHAPTER 40C-8,
- FAC 3. DIRECT DISCHARGE OR DISTURBANCE OF EXISTING WETLANDS TO REMAIN, SHALL NOT BE ALLOWED DURING DEWATERING OPERATIONS AND/OR EXCAVATION OF PONDS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- 4. IF INSTALLATION OF ANY CONTROL STRUCTURES OCCUR PRIOR TO THE COMPLETION OF DEWATERING ALL WET DETENTION PONDS, CONTRACTOR IS TO PROVIDE HAIL BAILS OR FILTER CLOTH AROUND THE CONSTRUCTED CONTROL STRUCTURES. 5. CONTRACTOR MUST SUBMIT A TURBIDITY MONITORING PLAN TO DISTRICT FOR APPROVAL PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. THE IS TO INCLUDE, AT MINIMUM, THE LOCATIONS THAT SAMPLES WILL BE COLLECTED, WHO WILL COLLECT AND ANALYZE, THE SAMPLES, THE EQUIPMENT AND METHOD THAT WILL BE UTILIZED, AND REMEDIAL STEPS TO BE TAKEN IF TURBIDITY LEVELS EXCEED THE WATER QUALITY IS ALLOWED ABOVE BACKGROUND CONDITIONS IN THE AQUATIC PRESERVE, TURBIDITY SHOULD BE MONITORED ON A DAILY BASIS AND REPORTED WEEKLY DURING DISCHARGE.

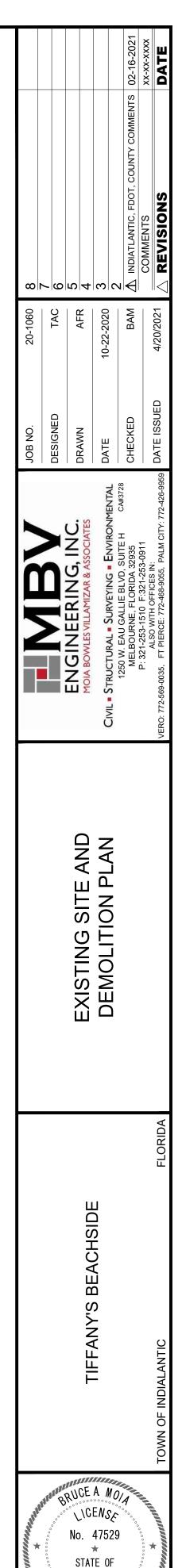
EROSION AND SEDIMENTATION CONTROL

- 1. THE LAND-DISTURBING ACTIVITY SHALL CONFORM TO EXISTING TOPOGRAPHY AND SOIL
- TYPE SO AS TO CREATE THE LOWEST PRACTICAL EROSION POTENTIAL. 2. LAND -DISTURBING ACTIVITIES SHALL BE CONDUCTED IN A MANNER MINIMIZING EROSION. 3. THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO EROSIVE ELEMENTS SHALL BE KEPT TO A PRACTICAL MINIMUM.
- 4. EROSION CONTROL MUST BE STRICTLY MAINTAINED DURING CUT AND FILL OPERATIONS. 5. DISTURBED SOIL SHALL BE STABILIZED AS QUICKLY AS PRACTICAL. 6. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED AND
- SUPPLEMENTED 7. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
- 8. PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
- 9. ADEQUATE PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO CUT THE FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS. 10. TO THE EXTENT NECESSARY, SEDIMENT IN RUNOFF WATER MUST BE TRAPPED BY THE USE
- OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED. 11. CUTS AND FILLS MUST BE CONSTRUCTED IN SUCH A MANNER THAT EROSION AND RUNOFF
- FROM THE SITE DOES NOT ENDANGER ADJOINING PROPERTY. 12. CONTRACTOR TO PLACE SILT FENCE IN ALL AREAS WHERE THE POTENTIAL FOR OFFSITE EROSION EXISTS.

EXISTING CONCRETE PAVEMENT	
EXISTING ASPHALT PAVEMENT	
EXISTING TO BE REMOVED	
STORM MANHOLE	D
SANITARY MANHOLE	S
SANITARY CLEAN OUT	co
FIRE HYDRANT	FH
NOOD POWER POLE	\mathcal{O}
STREET/PARKING LOT LIGHT	$\dot{\mathbf{x}}$
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WATER METER	•
EXISTING SPOT SHOT	×26.7
EXISTING TREE AND SIZE	٢٠٠٢ ٢٠٠٢) ۲۰۰۲ ۲۰۰۲
EXISTING PROPERTY LINE	
EXISTING WATER MAIN	W
EXISTING SANITARY LINE	SS
EXISTING GAS LINE	GAS
EXISTING OVERHEAD WIRES	OHW
EXISTING FENCE LINE	X
EXISTING AT&T FIBER OPTIC LINE	UTIL







20-1060 PRELIMINARY SET

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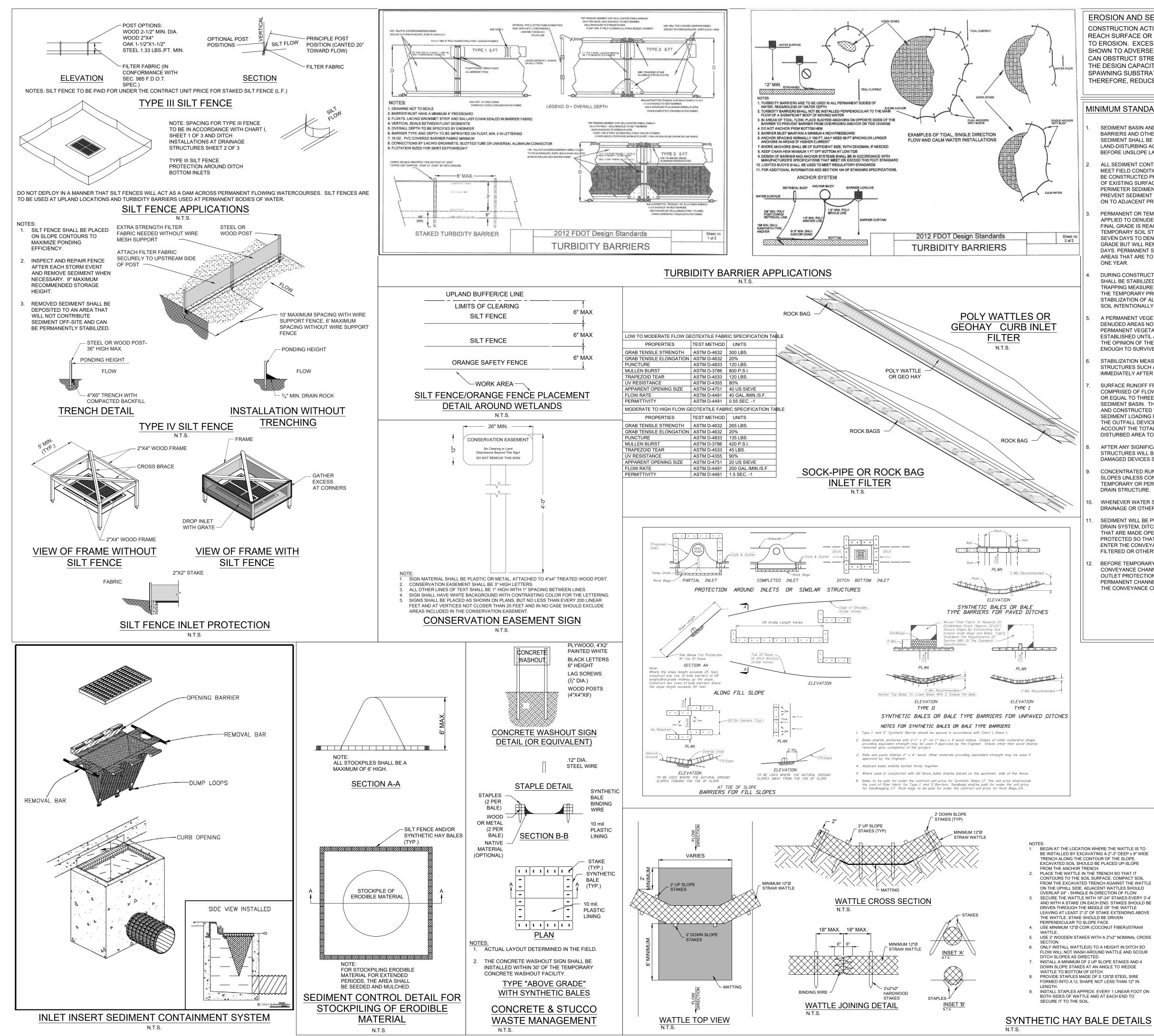
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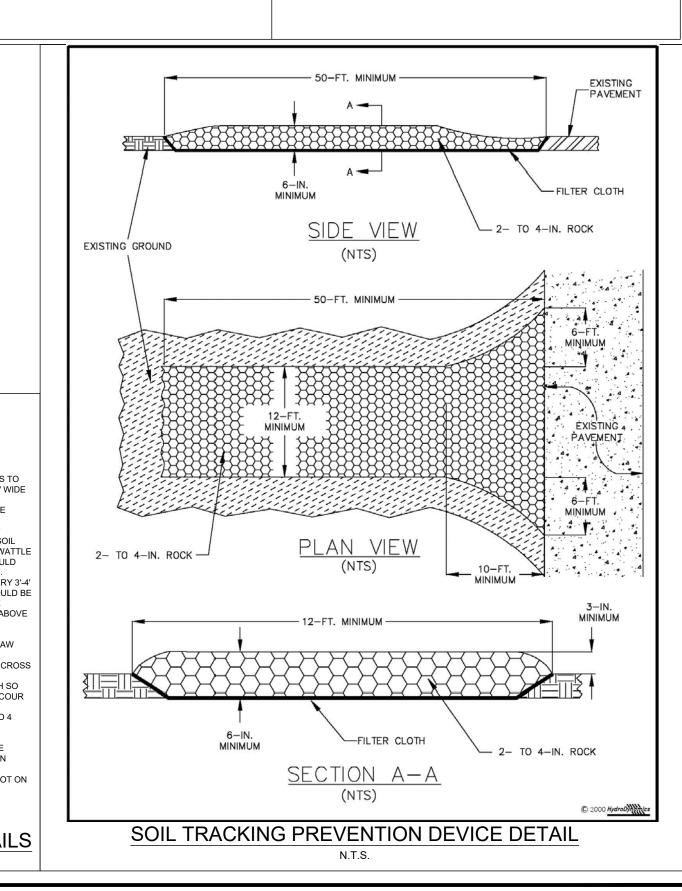
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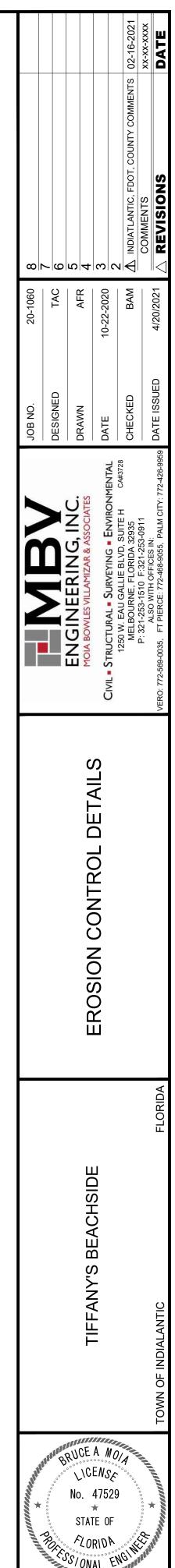


EROSION AND SEDIMENTATION CONTROL NOTES CONSTRUCTION ACTIVITIES CAN RESULT IN THE GENERATION OF SIGNIFICANT AMOUNTS OF POLLUTANTS WHICH MAY REACH SURFACE OR GROUND WATERS. ONE OF THE PRIMARY POLLUTANTS OF SURFACE WATERS IS SEDIMENT DUE TO EROSION. EXCESSIVE QUANTITIES OF SEDIMENT WHICH REACH WATER BODIES OF FLOOD PLAINS HAVE BEEN SHOWN TO ADVERSELY AFFECT THEIR PHYSICAL, BIOLOGICAL AND CHEMICAL PROPERTIES. TRANSPORTED SEDIMENT CAN OBSTRUCT STREAM CHANNELS, REDUCE HYDRAULIC CAPACITY OF WATER BODIES OF FLOOD PLAINS, REDUCE THE DESIGN CAPACITY OF CULVERTS AND OTHER WORKS, AND ELIMINATE BENTHIC INVERTEBRATES AND FISH SPAWNING SUBSTRATES BY SILTATION. EXCESSIVE SUSPENDED SEDIMENTS REDUCE LIGHT PENETRATION AND THEREFORE, REDUCE PRIMARY PRODUCTIVITY MINIMUM STANDARDS SEDIMENT BASIN AND TRAPS, PERIMETER DIKES, SEDIMENT WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED BARRIERS AND OTHER MEASURES INTENDED TO TRAP PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. BEFORE UNSLOPE LAND DISTURBANCE TAKES PLACE. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO

- MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION ANI BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE REVIEWER, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
- SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN THE SEDIMENT BASIN SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE THE ANTICIPATED SEDIMENT LOADING FROM THE LAND-DISTURBING ACTIVITY. THE OUTFALL DEVICE OR SYSTEM DESIGN SHALL TAKE INTO ACCOUNT THE TOTAL DRAINAGE AREA FLOWING THROUGH THE DISTURBED AREA TO BE SERVED BY THE BASIN
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE
- WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM DRAIN SYSTEM, DITCH OR CHANNEL. ALL STORM SEWER INLETS 20. THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE ROTECTED SO THAT SEDIMENT-I ADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- BEFORE TEMPORARY OR NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE 22. OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.

- FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
- WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.
- THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE, WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, IN THE OPINION OF THE REVIEWER. DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DISPOSITION AND FROSION
- PHASED PROJECTS SHOULD BE CLEARED IN CONJUNCTION WITH CONSTRUCTION OF EACH PHASE.
- EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS OF THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL MANUAL (JULY 2018).
- THE REVIEWER MAY APPROVE MODIFICATIONS OR ALTER PLANS TO THESE EROSION CONTROL CRITERIA DUE TO SITE SPECIFIC CONDITIONS.





PRELIMINARY SET

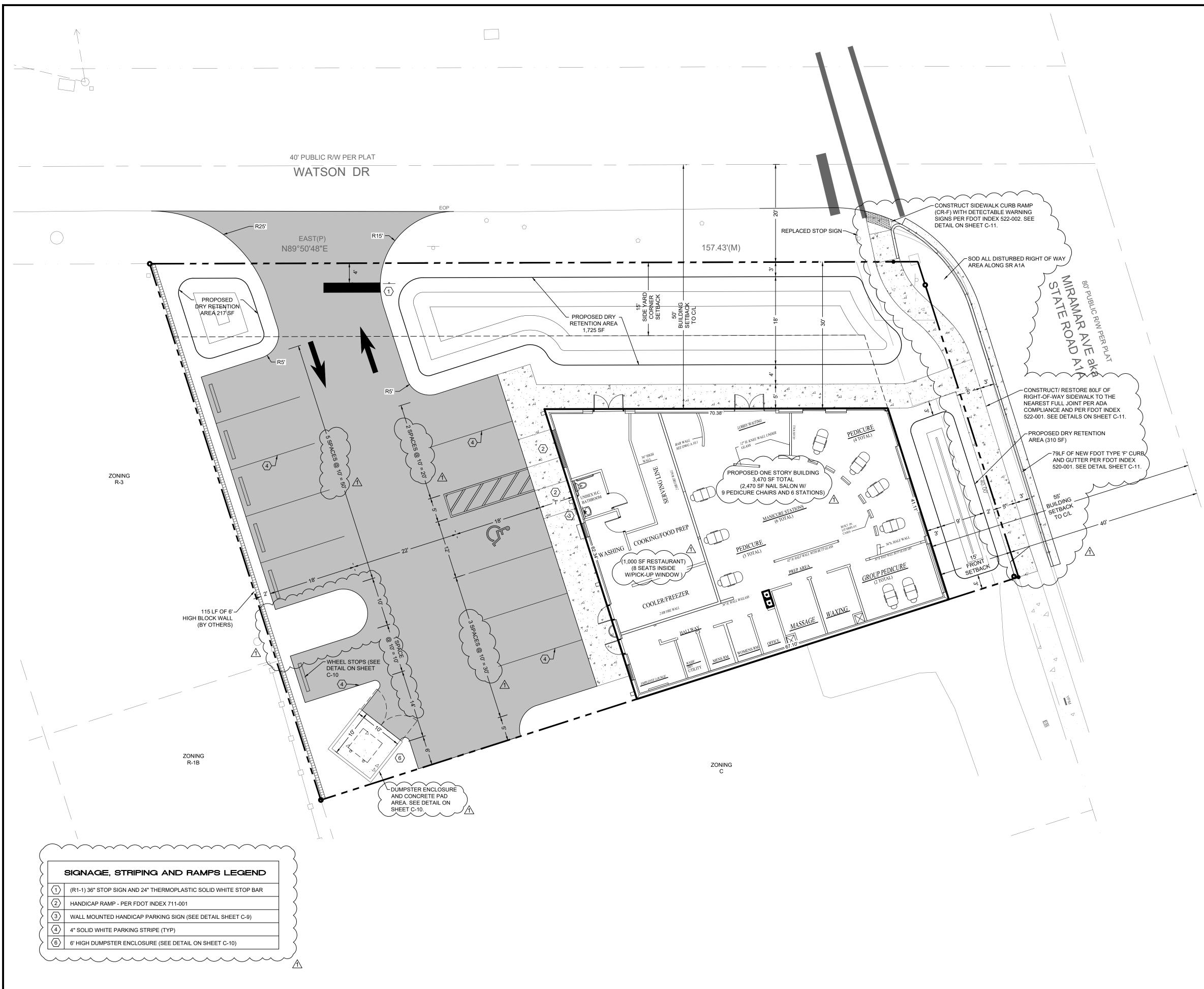
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SHEET

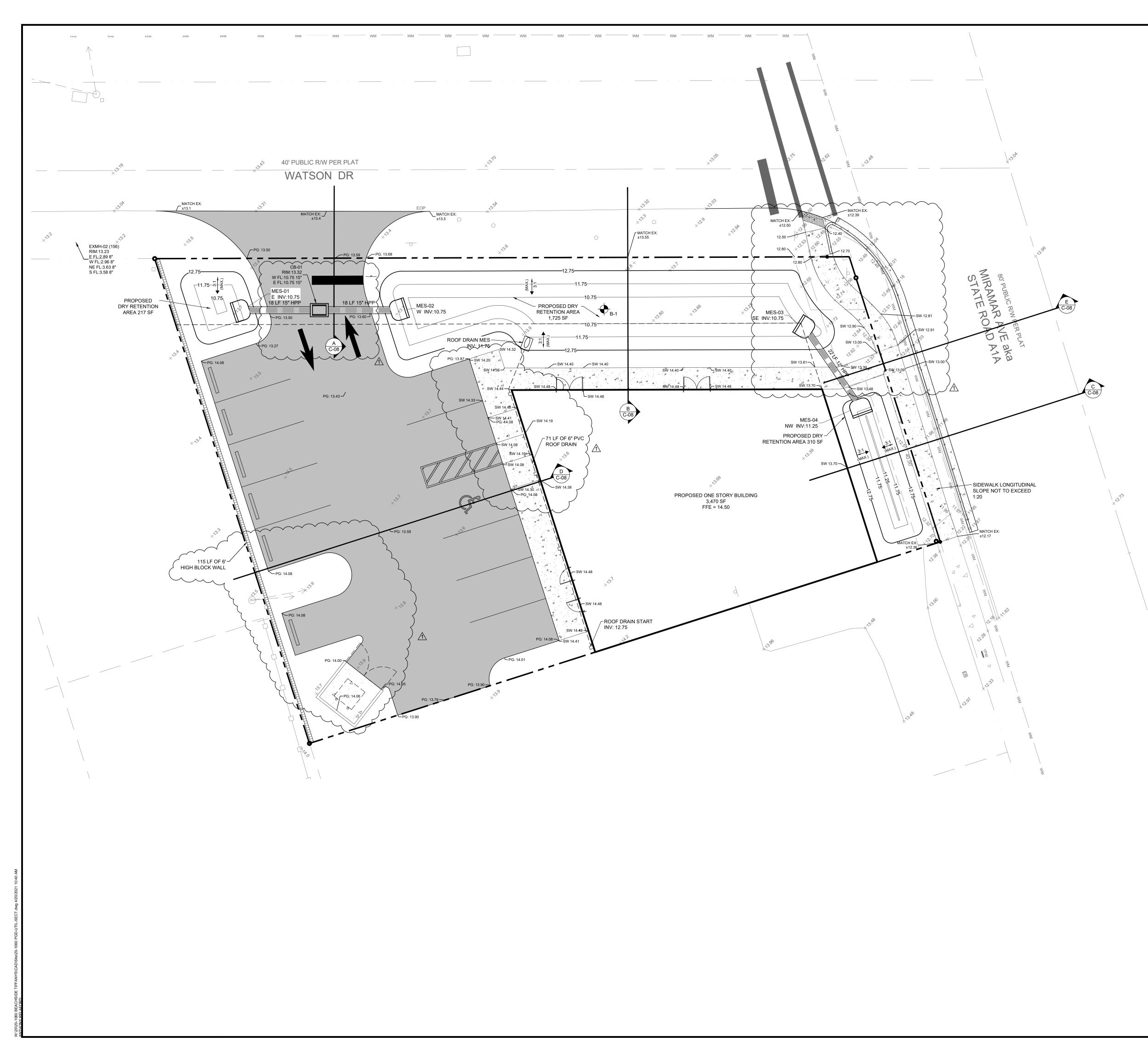
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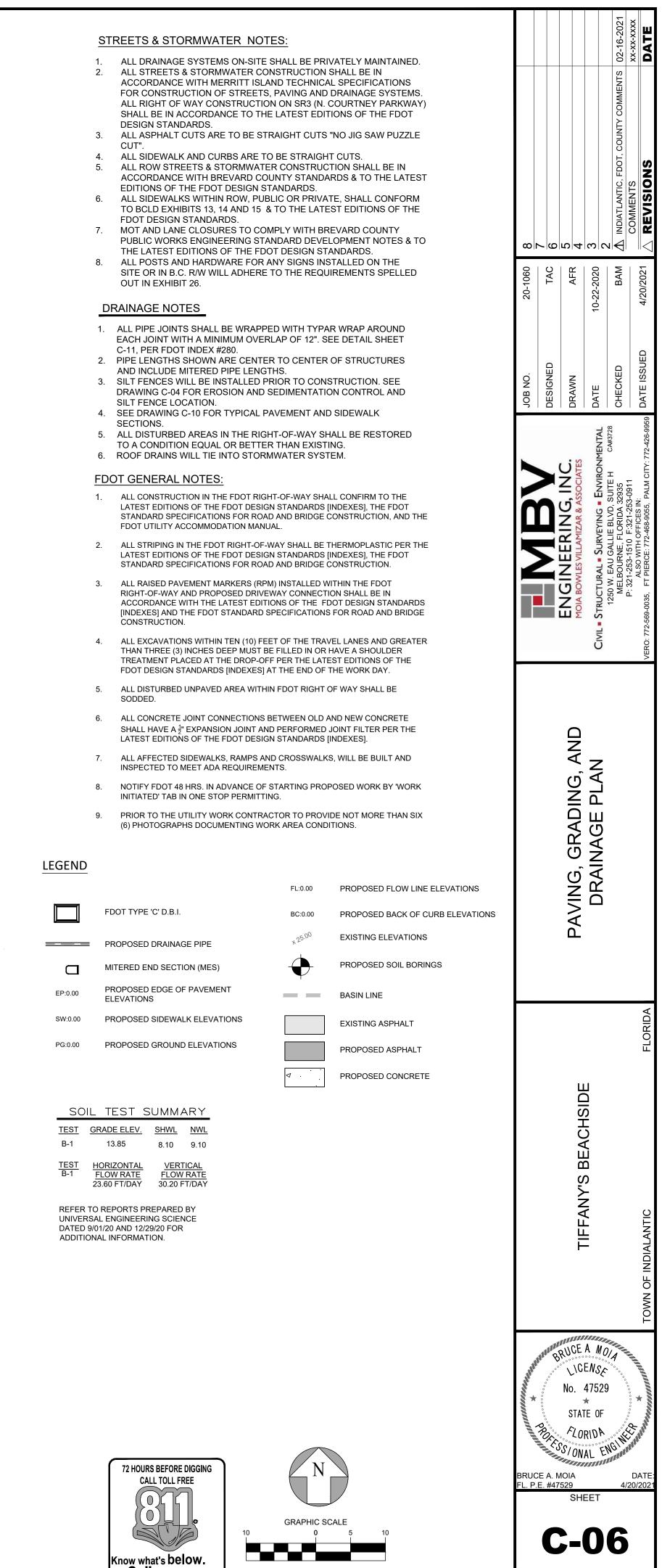
RUCE A. MOIA

.. P.E. #47529



SITE INFORMATION		02-16-2021
GENERAL STATEMENT THIS PROPOSED PROJECT INVOLVES CONSTRUCTING		
CONSISTING OF 1,000 SF OF RESTAURANT AND 2,47 IMPROVEMENTS WITHIN 0.32 ACRES.	0 SF COMMERCIAL ALONG WITH SITE	MMENTS
OWNER HUNG NGUYEN 2642 SHELLWOOD DRIVE MELBOURNE, FL 32934	ENGINEER MBV ENGINEERING, INC. 1250 W.EAU GALLIE BLVD, UNIT H MELBOURNE, FL 32935 PHONE:	INDIATLANTIC, FDOT, COUNTY COMMENTS
APPLICANT	(321) 253-1510 <u>SURVEYOR</u>	IC, FD01
HUNG NGUYEN 2642 SHELLWOOD DRIVE MELBOURNE, FL 32934	BRIEL & ASSOCIATES LAND SURVEYING, INC. 1790 HIGHWAY A1A - SUITE 208 SATELLITE BEACH, FL 32937	INDIATLANTIC
SITE ADDRESS NOT ASSIGNED INDIALANTIC, FL 32903	(321) 773-7775	20-1060 8 TAC 6 AFR 4 BAM <u>2</u> 22-2020 2 BAM <u>4</u>
ZONING C - COMMERCIAL		20-1060 TAC AFR 10-22-2020 BAM
TAX PARCEL I.D. NUMBER(S) 27-38-31-EO-62-12	TAX ACCOUNT NO. 2731498	
ZONING NOTES CLASSIFICATION: "C" COMMERCIAL		JOB NO. DESIGNED DRAWN DATE CHECKED
SIZE: MINIMUM LOT AREA = 5,000 SQ FT	PROVIDED = 13,892 SQ FT	JOB N DESIG DRAW DATE CHEC
MINIMUM SETBACKS: FRONT BUILDING A1A TO C/L = 52 FEE FRONT BUILDING = 15 FEE SIDE BUILDING WATSON DR TO C/L = 50 FEE SIDE INTERIOR = 0 FEE SIDE YARD CORNER = 15 FEE REAR BUILDING = 25 FEE	ET = 15 FEET ET = 50 FEET ET = 0 FEET ET = 15 FEET	ASSOCIATES SSOCIATES ENVIRONMENTAL SUITE H CA#3728
MAXIMUM BUILDING HEIGHT: = 35 FEE	ET = 20.833 FEET	
PARKING REQUIREMENTS		
REQUIRED: RESTAURANT: 1 SPACE PER 3 SEATS COMMERCIAL: 2 SPACES FOR THE FIF (2,470 SF = 8 SPACES)		
TOTAL REQUIRED: 11 SPACES PROVIDED: 12 SPACES (11 REGULAR SPACES + 1 H/	C SPACE)	
\mathbf{b}	и то 8:30 PM	CIVIL
HOURS OF OPERATION FOR NAIL SALON: 9 AM 9 PEDICURE CHAIRS & 6 MANICURE STATIONS		
PERMITS NEEDED		
TOWN OF INDIALANTIC SJRWMD 10-2 CITY OF MELBOURNE WATER		
BREVARD COUNTY SEWER FDOT DRIVEWAY EXEMPTION FDOT DRAINAGE EXEMPTION EDOT LITULITY DEPMIT		
FDOT UTILITY PERMIT FLOOD ZONE THE SUBJECT PROPERTY IS LOCATED IN ELOOD ZO		AN
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZO No. 12009C 0602 G, DATED MARCH 17, 2014.		
BREVARD COUNTY SANITARY SEWER SYSTEM		SITE
CITY OF MELBOURNE WATER SYSTEM		
CONSTRUCTION SCHEDULE JUNE 2021 DECEMBER 2021		
PER ITE TRIP GENERATION MANUAL, 10TH EDITION		
HAIR SALON (918) (CLOSEST LAND USE FOR NAIL SA	NLON)	
WEEKDAY PEAK AM PEAK PM = 1.45 TRIPS/1,000 SF x 2,470 S		
RESTAURANT W/O DRIVE THRU (933) WEEKDAY		
WEEKDAY PEAK AM PEAK PM EXAMPS PEAK PM EXAMPS PEAK PM		Щ
* NOTE: BASED ON THE BUILDING LOCATION PEDES		
	13,744.94 SF (0.316 AC) 100.00%	SEACHS
PROJECT INFORMATION TOTAL SITE AREA EXISTING EXISTING CONCRETE	13,744.94 SF (0.316 AC) 100.00% 88.80 SF (0.002 AC) 0.65%	Y'S BEACHSIDE
PROJECT INFORMATION TOTAL SITE AREA EXISTING EXISTING CONCRETE EXISTING ASPHALT EXISTING IMPERVIOUS	13,744.94 SF (0.316 AC) 100.00% 88.80 SF (0.002 AC) 0.65% 2,932.73 SF (0.067 AC) 21.34% 3,021.54 SF (0.069 AC) 21.98%	
PROJECT INFORMATION TOTAL SITE AREA EXISTING EXISTING CONCRETE EXISTING ASPHALT	13,744.94 SF (0.316 AC) 100.00% 88.80 SF (0.002 AC) 0.65% 2,932.73 SF (0.067 AC) 21.34% 3,021.54 SF (0.069 AC) 21.98% 10,723.40 SF (0.246 AC) 78.02%	TIFFANY'S BEACHS
EXPECTED. PROJECT INFORMATION TOTAL SITE AREA EXISTING EXISTING CONCRETE EXISTING ASPHALT EXISTING IMPERVIOUS EXISTING PERVIOUS TO BE REMOVED ALL ONSITE ASPHALT AND CONCRETE TO BE REMO PROPOSED PROPOSED BUILDING AREA	13,744.94 SF (0.316 AC) 100.00% 88.80 SF (0.002 AC) 0.65% 2,932.73 SF (0.067 AC) 21.34% 3,021.54 SF (0.069 AC) 21.98% 10,723.40 SF (0.246 AC) 78.02% VED 3,470.00 SF (0.080 AC) 36.32%	
EXPECTED PROJECT INFORMATION TOTAL SITE AREA EXISTING EXISTING CONCRETE EXISTING ASPHALT EXISTING IMPERVIOUS EXISTING PERVIOUS TO BE REMOVED ALL ONSITE ASPHALT AND CONCRETE TO BE REMO PROPOSED BUILDING AREA PROPOSED BUILDING AREA PROPOSED CONCRETE PROPOSED ASPHALT	13,744.94 SF (0.316 AC) 100.00% 88.80 SF (0.002 AC) 0.65% 2,932.73 SF (0.067 AC) 21.34% 3,021.54 SF (0.069 AC) 21.98% 10,723.40 SF (0.246 AC) 78.02% VED 3,470.00 SF (0.080 AC) 36.32% 1,063.13 SF (0.024 AC) 7.73% 4,992.66 SF (0.111 AC) 25.25%	TIFFANY'S
EXPECTED. PROJECT INFORMATION TOTAL SITE AREA EXISTING EXISTING CONCRETE EXISTING ASPHALT EXISTING IMPERVIOUS EXISTING PERVIOUS TO BE REMOVED ALL ONSITE ASPHALT AND CONCRETE TO BE REMO PROPOSED PROPOSED BUILDING AREA PROPOSED CONCRETE	13,744.94 SF (0.316 AC) 100.00% 88.80 SF (0.002 AC) 0.65% 2,932.73 SF (0.067 AC) 21.34% 3,021.54 SF (0.069 AC) 21.98% 10,723.40 SF (0.246 AC) 78.02% VED 3,470.00 SF (0.080 AC) 36.32% 1,063.13 SF (0.024 AC) 7.73%	TIFFANY'S
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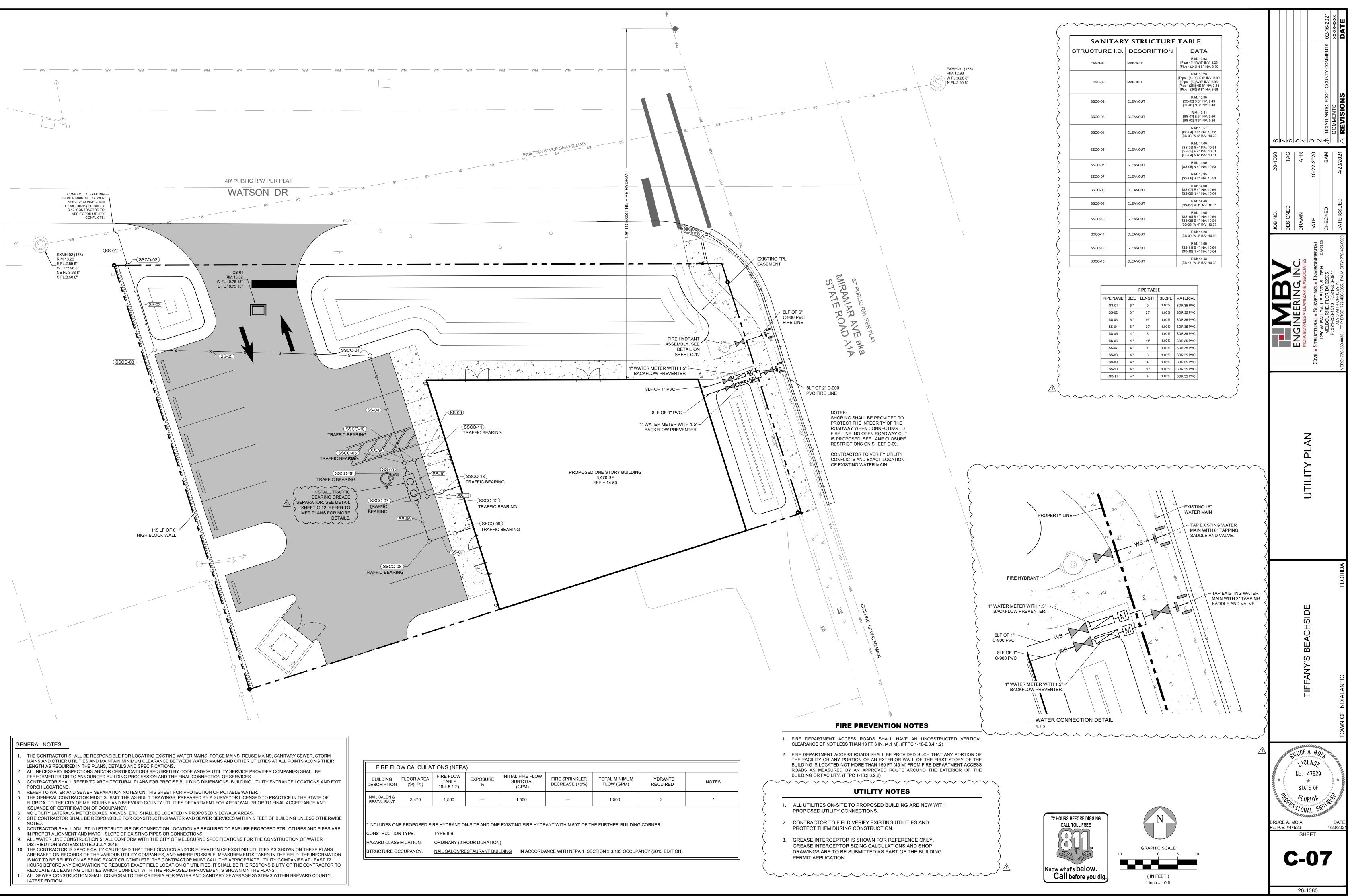




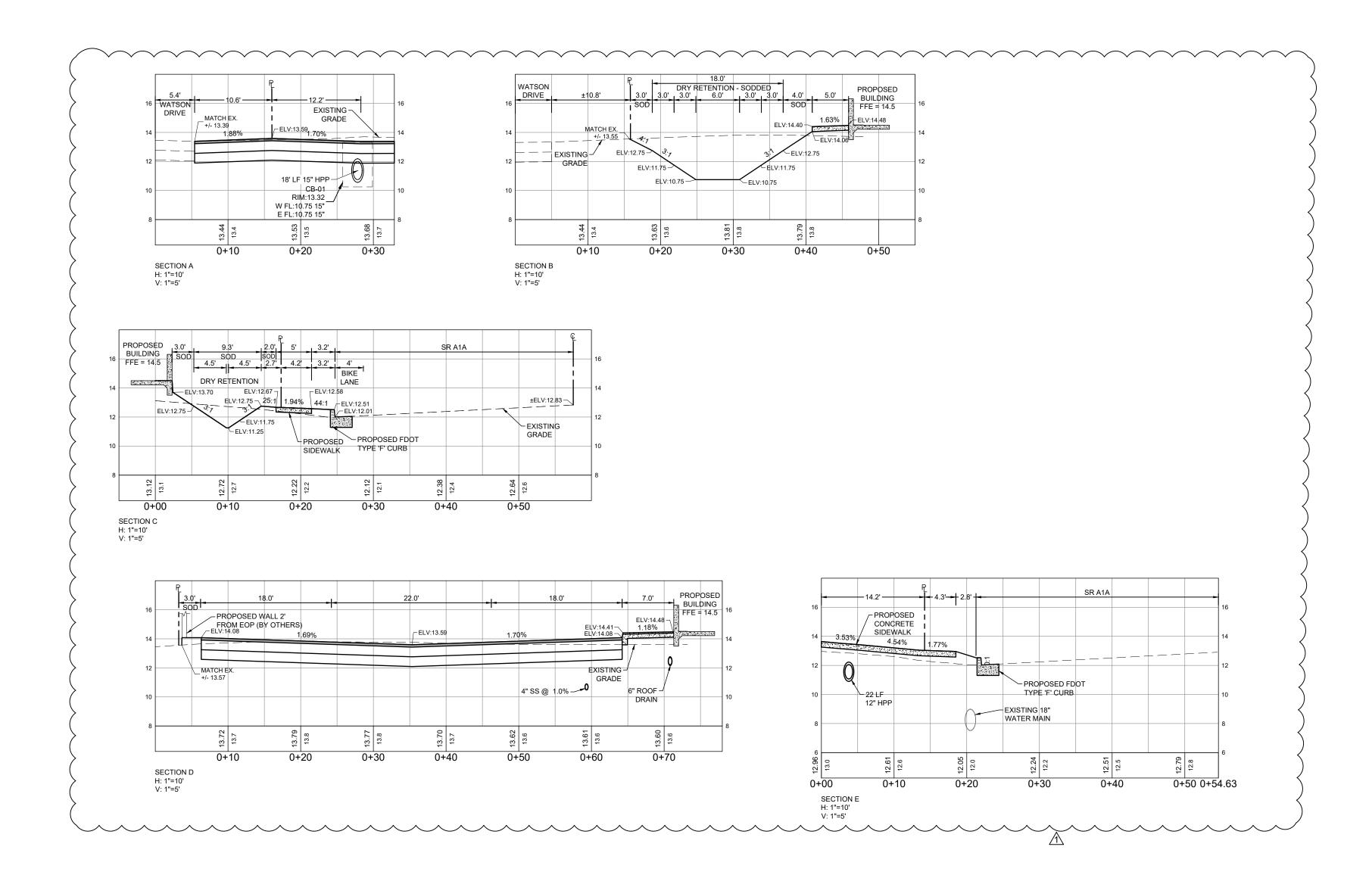
Call before you dig.

(IN FEET) 1 inch = 10 ft.

> 20-1060 PRELIMINARY SET

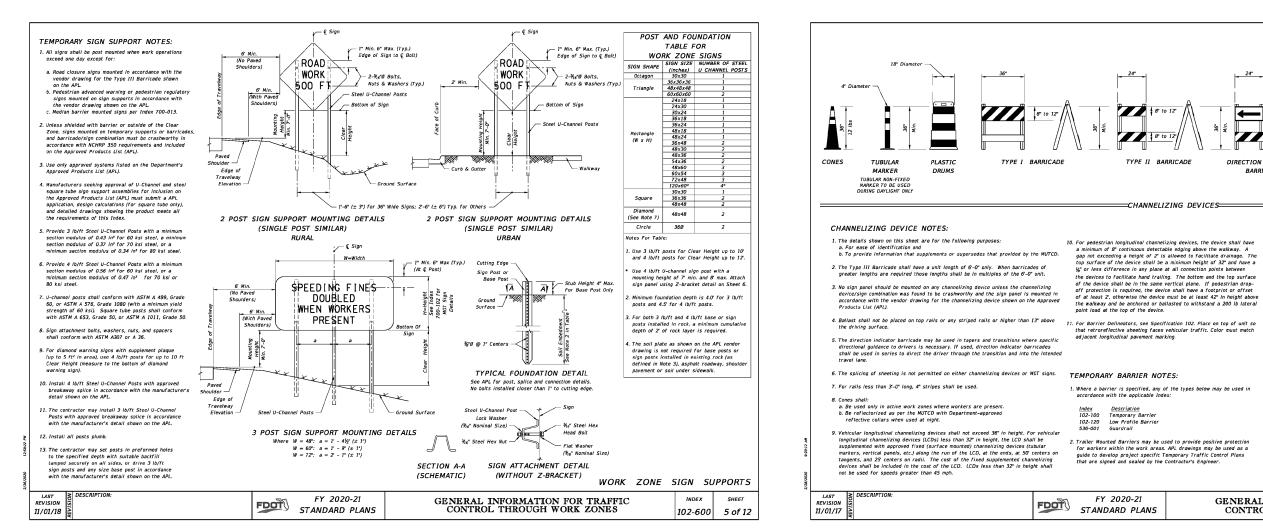


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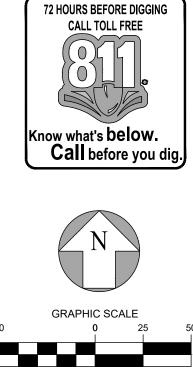
					02-16-2021	хххх-хх-хх	DATE
8	6	5	301	2	Δ INDIATLANTIC, FDOT, COUNTY COMMENTS 02-16-2021	COMMENTS	
20-1060	TAC	AFR	10-22-2020		BAM		4/20/2021
JOB NO.	DESIGNED	DRAWN	DATE		CHECKED		DATE ISSUED
		ENGINEERING, INC. MOIA BOWLES VILLAMIZAR & ASSOCIATES	Civil = Structural = Surveying = Environmental	1250 W. EAU GALLIE BLVD. SUITE H CA#3728	MELBOURNE, FLORIDA 32935	P: 321-253-1510 F:321-253-0911 ALSO WITH OFFICES IN:	VERO: 772-569-0035, FT PIERCE: 772-468-9055, PALM CITY: 772-426-9959
		OINCITCIO					
							FLORIDA
		TIFEANVYS REACHSIDE					TOWN OF INDIALANTIC
BRUC	DR. 4. M E. #475	ر (C) No. STAT (ک) (C) (C) (C) (C) (C) (C) (C) (C) (C) (C	A_ <i>M</i> E <i>NS</i> 4752	0) < 29			ATE: 2021
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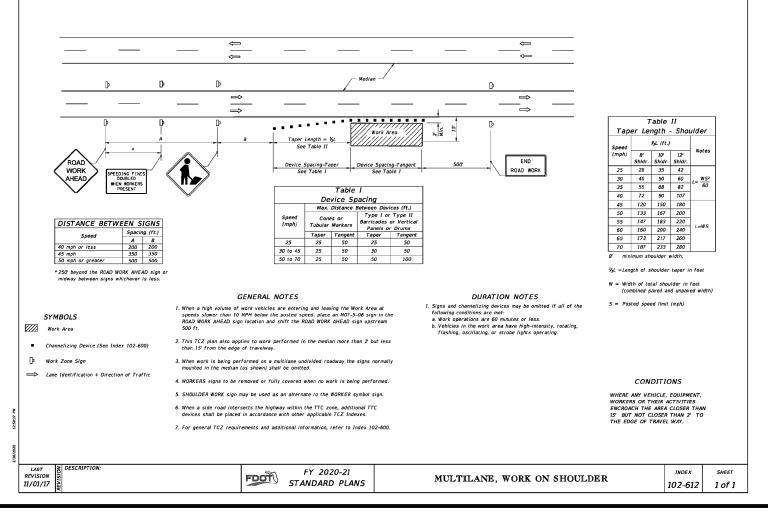
MOT NOTES:

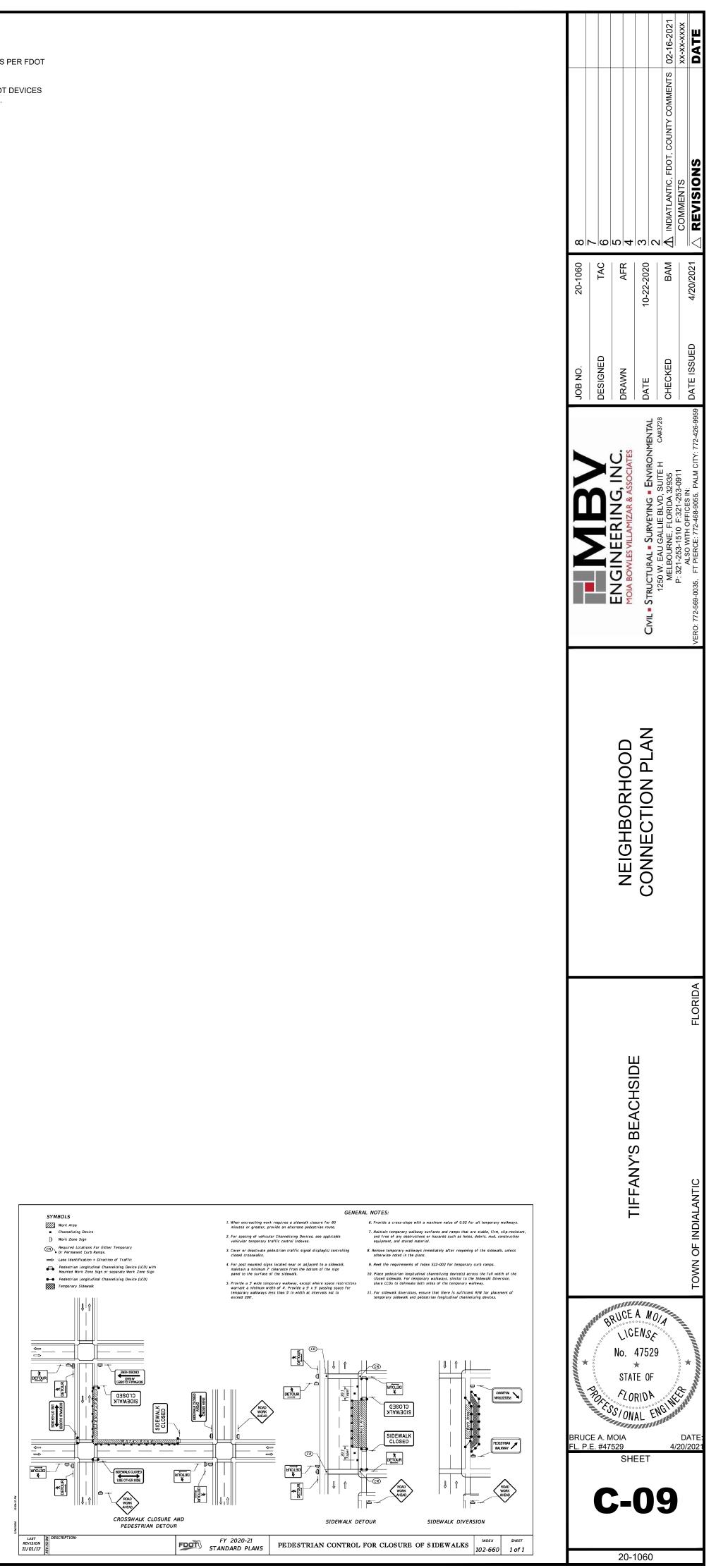
- 1. CONTRACTOR SHALL PROVIDE A SIDEWALK DIVERSION FOR PEDESTRIANS PER FDOT INDEX 102-660. SEE SHEET C-15. NO SIDEWALK CLOSURE ALLOWED.
- 2. CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN ALL MOT DEVICES DURING CONSTRUCTION OF IMPROVEMENTS TO SR 3 AND RIGHT-OF-WAY.
- 3. LANE CLOSURE RESTRICTIONS ON A1A SB IS 7:00 AM 7:00 PM.



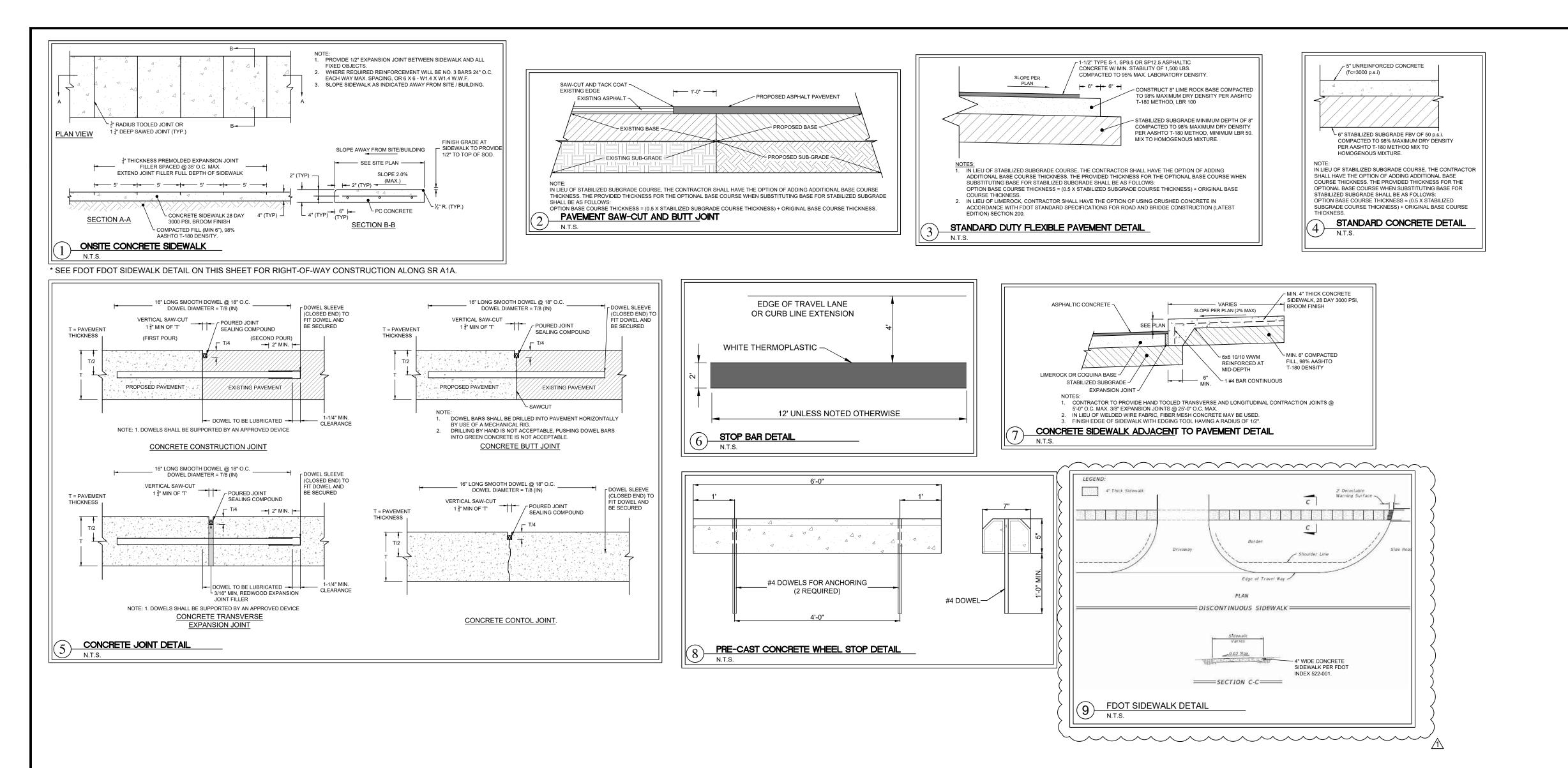
(IN FEET) 1 inch = 50 ft.

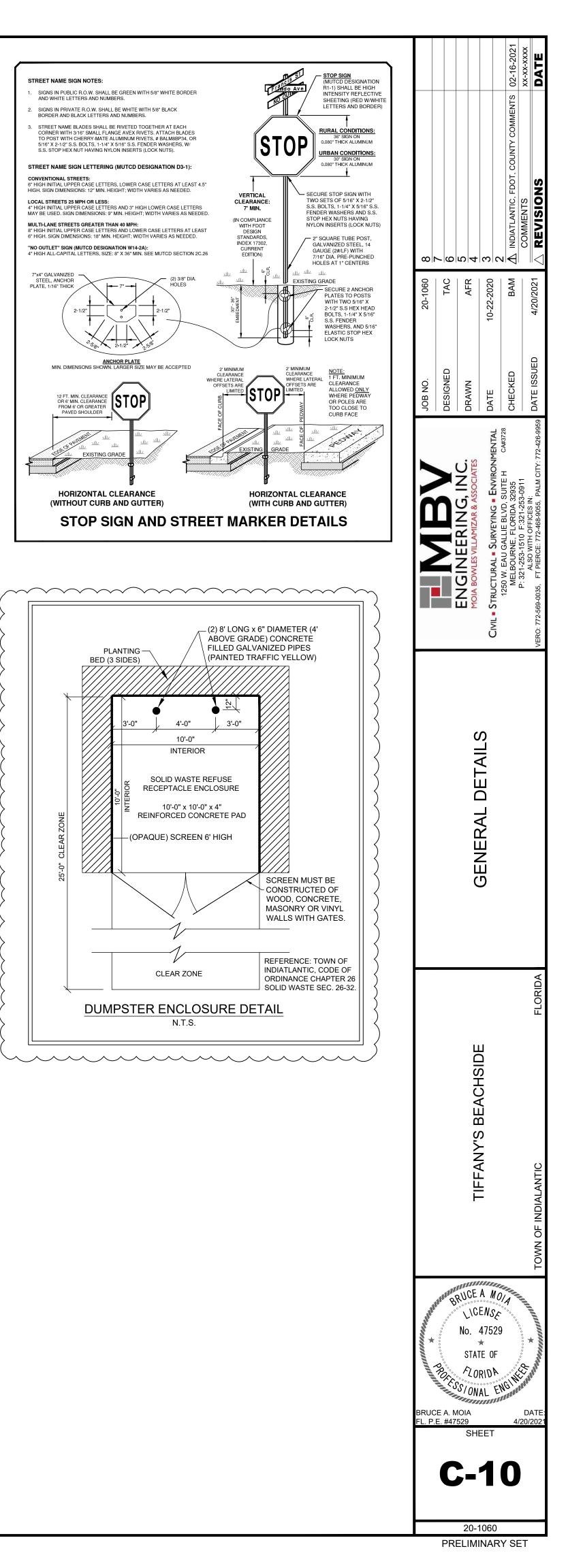
6'-0" 8" to 12" 36" TYPE II BARRICADE DIRECTION INDICATOR A-FRAME POST MOUNT TYPE III BARRICADE BARRICADE VERTICAL PANEL ANNELIZING DEVICES Use Barrier Delineators Per Note 11 10. For pedestrian longitudinal channelizing devices, the device shall have For pedestrian longitudinal channelizing devices, the device shall have a minimum off continuous detucable edging above the wakiway. A gap not exceeding a height of Z is allowed to facilitate drainage. The top surface of the device shall be a minimum height of 32 and have a $\frac{1}{2}$ or less difference in any plane at all connection points between the devices to facilitate hand trailing. The bottom and the top surface of the device shall be in the same vertical plane. If pedestrian drop-off protection is requiries, the device shall have a locoprint or offset of all easi 2, otherwise the device must be at least 42 in height above how the same off to between the device must be at least 42 in height above during the same offset of the least 42 in height above \square Forklift Access Forklift Access VEHICULAR/ VEHICULAR LCD PEDESTRIAN LCD Use Barrier Delineators Per Note 11 When Placed Parallel To And Within 4 Feet Of The Edge Of Travel Way Where a barrier is specified, any of the types below may be used in accordance with the applicable Index: PEDESTRIAN LCD r 2. Trailer Mounted Barriers may be used to provide positive protection for workers within the work areas. APL drawings may be used as a guide to develop project specific Temporary Traffic Control Plans that are signed and scaled by the Contractor's Engineer. LONGITUDINAL CHANNELIZING DEVICE GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES INDEX SHEET 102-600 11 of 12



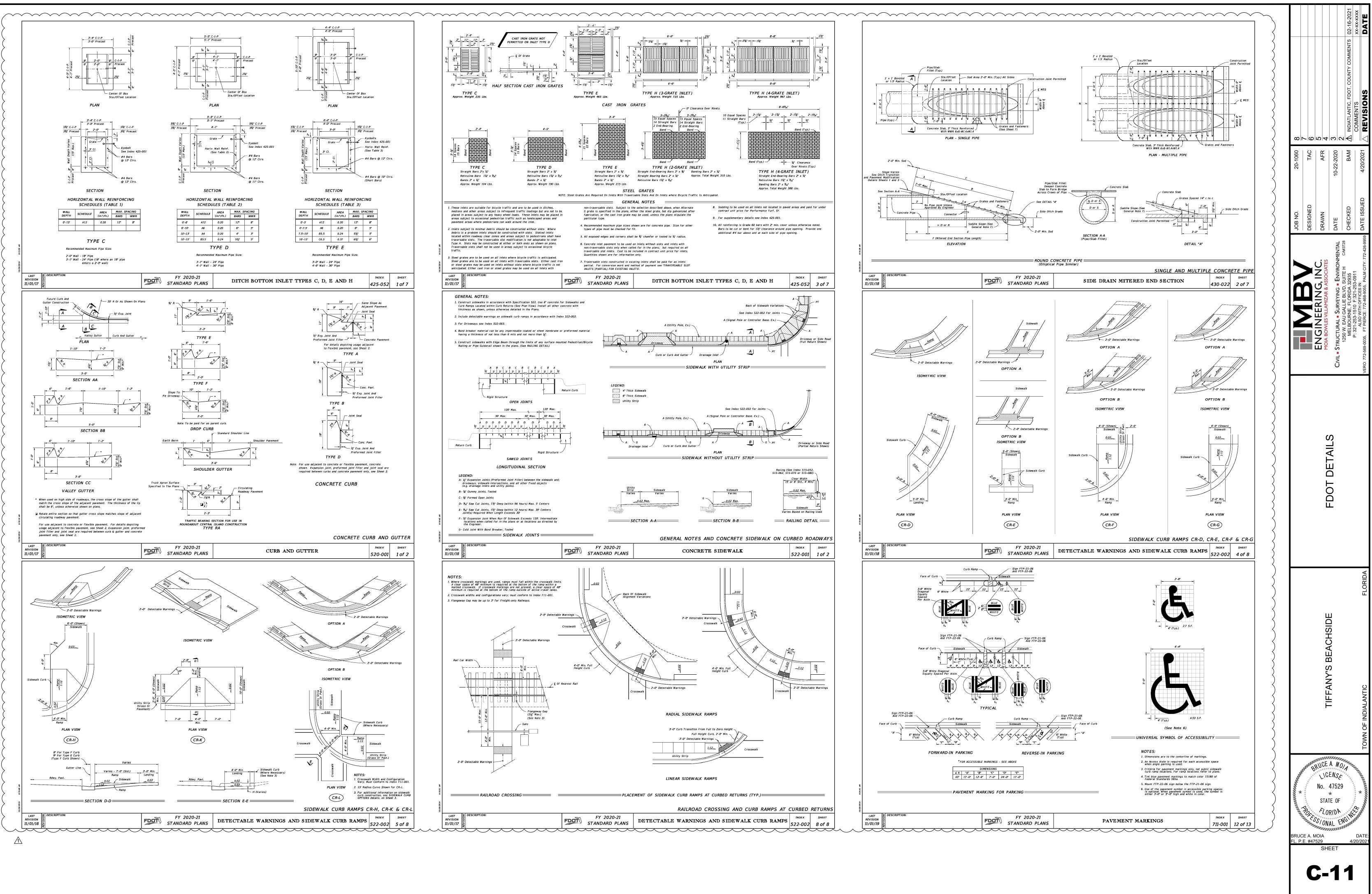


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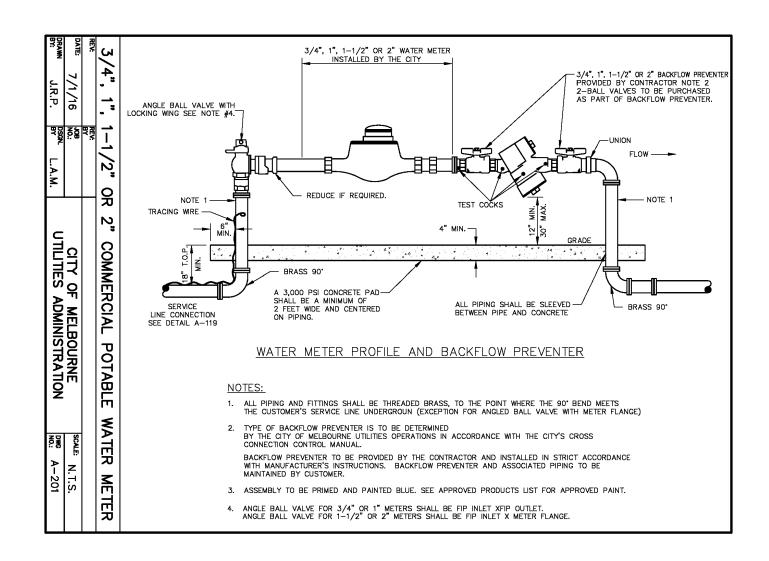
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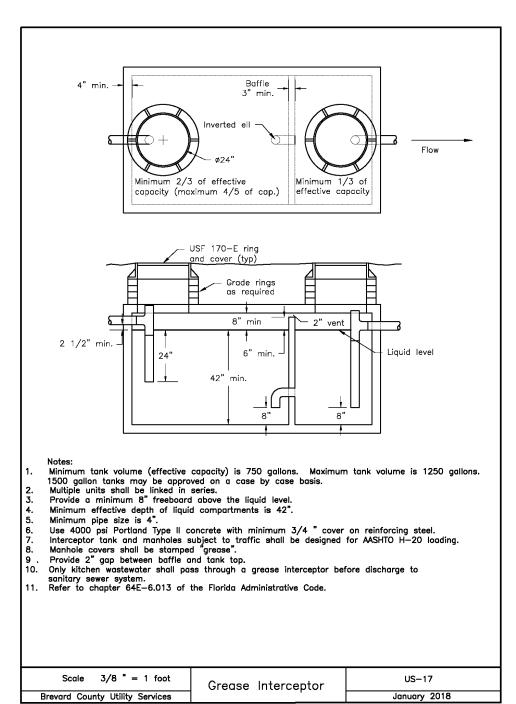


PRELIMINARY SET

20-1060

DATE 7/1/16 UDB DRAVN J.R.P. DYSEN L.A.M. U		FINISHED GRADE FINISHED GRADE COMMON FILL 12" (TYP.) HUDISTILIBEED
CITY OF MELBOURNE	DETAILS TYPE "A" & "B"	UNDISTURBED EARTH (SEE NOTE 3) I. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 98% UNDER ROADS, CURB, GUTTER AND SHOULDERS; AND 95% IN ALL OTHER PLACES, OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFED PROCTOR COMPACTED TO 98% UNDER ROADS, CURB, GUTTER AND SHOULDERS; AND 95% IN ALL OTHER PLACES, OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFED PROCTOR COMPACTED TO 98% UNDER ROADS, CURB, GUTTER AND SHOULDERS; AND 95% IN ALL OTHER PLACES, OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFED PROCTOR COMPACTED TO 98% UNDER ROADS, CURB, GUTTER AND SHOULDERS; AND 95% IN ALL OTHER PLACES, OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFED PROCTOR COMPACTION TEST, AASHTO T-180 3. PIPE BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER. 4. (*): 15° MAX. FOR PIPE DIAMETER LESS THAN 24°, AND 24° MAX. FOR PIPE DIAMETER 24° AND LARGER. 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION, 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW FOR SEWERS. 7. REFER TO SPECIFICATIONS. ROAD SURFACE RESTORATION SHALL COMPLY WITH SPECIFICATIONS.
		<u>DETAIL – TYPE B</u> <u>DETAIL – TYPE A</u>





MENT: MENT: ED IN ES GI ER SH	HORIZ. N/A 3' 6'/10' №0TE 3 REQUIREM S OUTLIN S MUST DIVIDUALI VEN ARE IALL PAS	IES IN 62 COMPLY LY BY B(FROM C SS THROL	WA WA	H, F.A.C. 555.314, AND CIT F PIPE TO OME IN C	V, F., Y (D (
MATER ATER & FM) TION I MENT ED IN ES GI ER SH	N/A 3' 6'/10' NOTE 3 REQUIREN S OUTLIN S MUST DIVIDUALI VEN ARE IALL PAS	N/A 12" 12" MENTS CC IES IN 62 COMPLY LY BY BC E FROM C SS THROL	HORIZ. 3' N/A 3' DMPLY WIT 2-555.314 WITH 62- DTH FDEP DUTSIDE O JGH OR C	VERT. 12" N/A 12" H MINIMU , F.A.C. 555.314, AND CIT' F PIPE TO OME IN C	
MED R ATER & FM) TION I MENT MENT ED IN ES GI ES GI	3' 6'/10' NOTE 3 REQUIREN S OUTLIN S MUST DIVIDUALI VEN ARE IALL PAS	12" 12" 12" MENTS CC IES IN 62 COMPLY LY BY BC FROM C SS THROL	N/A 3' DMPLY WIT 2-555.314 WITH 62- DTH FDEP DUTSIDE O JGH OR C	N/A 12" TH MINIMU F, F.A.C. 555.314, AND CIT F PIPE TO OME IN C	V, F., Y (D (
R ATER & FM) TION I MENT: MENT: ED IN ES GI ER SH	6'/10' NOTE 3 REQUIREN S OUTLIN S MUST DIVIDUALI VEN ARE	12" NOTE 4 MENTS CC IES IN 62 COMPLY LY BY BC FROM C SS THROL	3' 2-555.314 WTH 62- DTH FDEP DUTSIDE 0 JGH OR C	12" TH MINIMU I, F.A.C. 555.314, AND CIT F PIPE TO OME IN C	V, F., Y 1 D (
& FM) TION I MENT: MENT: ED IN ES GI ER SH	REQUIREN SOUTLIN SMUST DIVIDUALI VEN ARE	MENTS CO IES IN 62 COMPLY LY BY BY FROM C	DMPLY WIT 2-555.314 WITH 62- DTH FDEP DUTSIDE O JGH OR C	 	V, F., Y 1 D (
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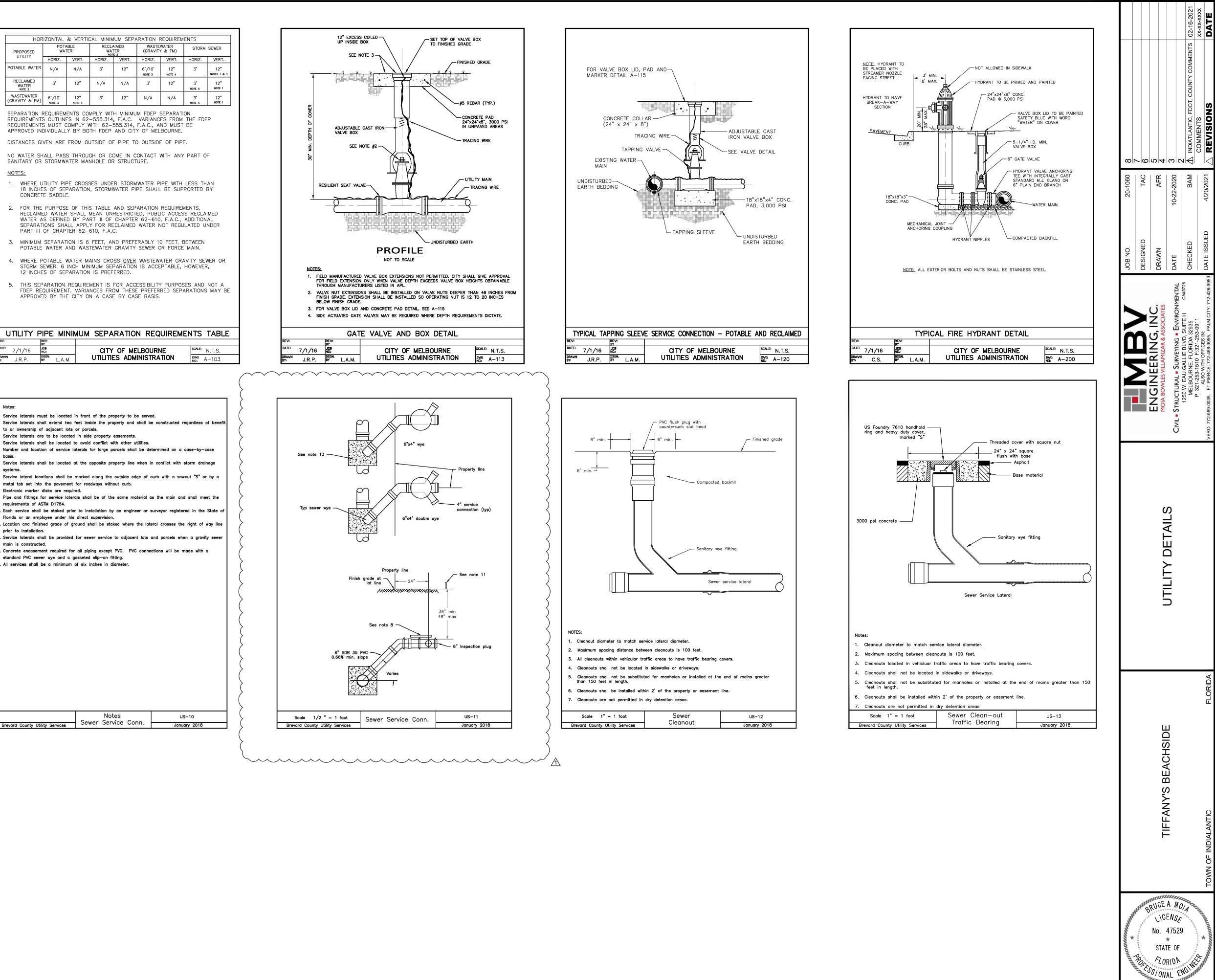
7/1/16

J.R.P.

L.A.M.

1. 9 2. 9 4. 9 5. 1 6. 9 7. 9 7. 9 10. 1 11. 1 12. 9 13. 0	Notes: Service laterals must be located in front of the property to be set Service laterals shall extend two feet inside the property and shall to or ownership of adjacent lots or parcels. Service laterals are to be located in side property easements. Service laterals shall be located to avoid conflict with other utilitie Number and location of service laterals for large parcels shall be basis. Service laterals shall be located at the opposite property line whe systems. Service lateral locations shall be marked along the outside edge of metal tab set into the pavement for roadways without curb. Electronic marker disks are required. Pipe and fittings for service laterals shall be of the same materia requirements of ASTM D1784. Each service shall be staked prior to installation by an engineer of Florida or an employee under his direct supervision. Location and finished grade of ground shall be staked where the prior to installation. Service laterals shall be provided for sewer service to adjacent lot main is constructed. Concrete encasement required for all piping except PVC. PVC con- standard PVC sewer wye and a gasketed slip—on fitting. All services shall be a minimum of six inches in diameter.

		Notes	
Brevard County Utility Services	Sewer	Service	Conn



20-1060 PRELIMINARY SET

SHEET

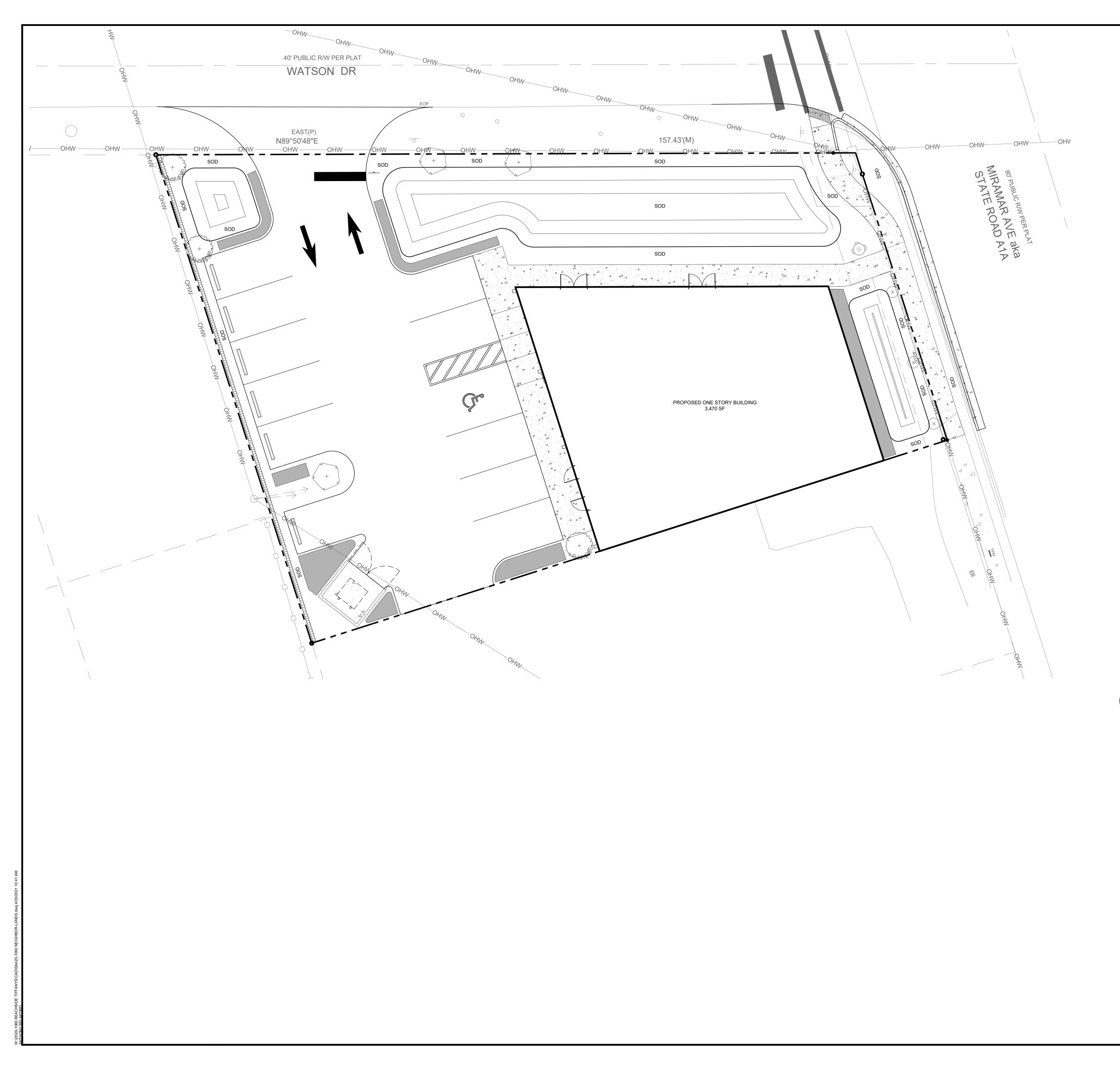
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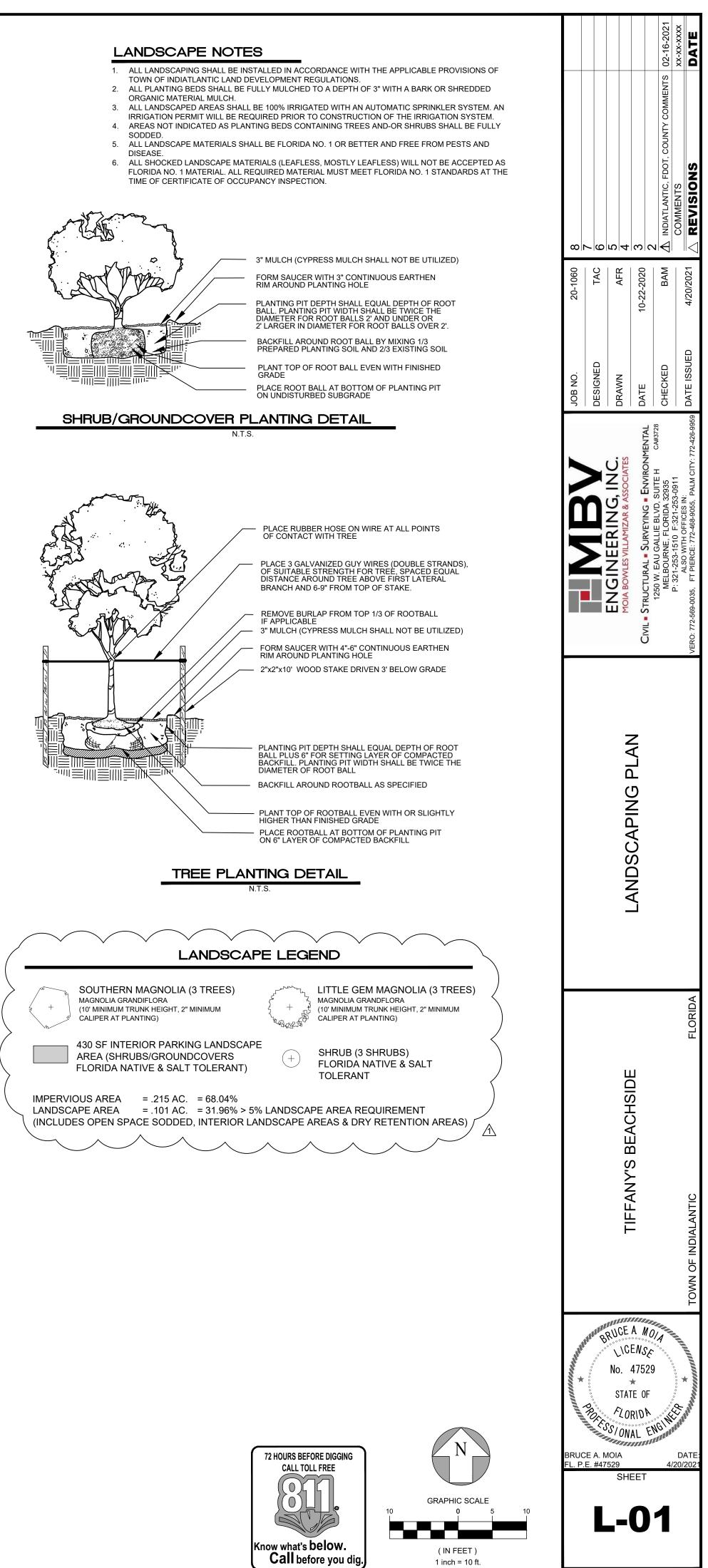
DA.

4/20/20

BRUCE A. MOIA

L. P.E. #47529





20-1060 PRELIMINARY SET