

AGENDA
Town Of Indialantic
Local Planning Agency/Zoning and Planning Board
216 Fifth Avenue, Indialantic, FL, 32903, Council Chamber
Tuesday, April 27, 2021 AT 5:30 P.M.

A. Call to Order:

Rick Bertel, Chair
Ed Mackiewicz, Vice Chair
Ann Bernick, Member
Dan Sullivan, Member
Christopher Mullen, Member
Michael Lentini, 1st Alternate
Alan King, 2nd Alternate
Les Hatter, School Board Representative

B. Approval of Prior Meeting Minutes:

1. March 23, 2021 Regular Meeting Minutes

C. New Business:

1. Site Plan: Tiffany's Spa and Nail Inc.
Address: Parcel ID 27-38-31-EO-62-12 corner of Watson Drive/SR A1A
Applicant/Owner: Bruce Moia, P.E., MBV Engineering Inc./Hung Nguyen
Project Description: 3,470 sq. ft. building with 2,470 sq. ft. to be used for nail salon and 1,000 sq. ft. to be used for restaurant

D. Reports – Building Official:

E. Adjourn:

NOTICE: Pursuant to Section 286.0105, Florida Statutes, the Town hereby advises the public that if a person decides to appeal a decision made by this Board with respect to any matter considered at its meeting or hearing, he or she will need a record of the proceedings and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes testimony and evidence upon which the appeal is to be based, as the Town does not provide one.

Americans with Disabilities Act: Persons planning to attend the meeting who require special assistance must notify the Office of the Town Clerk at 321-723-2242 no later than 48 hours prior to the meeting.

**Meeting Minutes
Town Of Indialantic
Local Planning Agency/Zoning and Planning Board
216 Fifth Avenue, Indialantic, FL, 32903, Council Chamber
Tuesday, March 23, 2021 AT 5:30 P.M.**

A. Call to Order:

A meeting of the Local Planning Agency/Zoning and Planning Board was called to order by Vice Chair Mackiewicz at 5:35 p.m. with the following members present:

Ed Mackiewicz, Vice Chair
Ann Bernick, Member
Dan Sullivan, Member
Christopher Mullen, Member
Michael Lentini, 1st Alternate

Also present:

Michael Casey, Town Manager
Cliff Stokes, Building Official
Rebekah Raddon, Town Clerk

B. Approval of Prior Meeting Minutes:

1. January 26, ~~2020~~ 2021 Regular Meeting Minutes

Motion by Member Bernick, seconded by Member Sullivan, and vote unanimous to approve the Jan. 26, 2021 meeting minutes. Motion carried 5-0.

C. New Business:

1. Site Plan: Tiffany's Spa and Nail Inc.
Address: Parcel ID 27-38-31-EO-62-12 corner of Watson Drive/SR A1A
Applicant/Owner: Hung Nguyen
Project Description: 2,400 sq. ft. nail salon and 1,000 sq. ft. restaurant

Mr. Casey noted that Hung Nguyen is not the current owner of the property and the Town is waiting receipt of an owner authorization. As such, the board cannot vote regarding the site plan at this meeting. The engineer for the project, Bruce Moia with MBV Engineering Inc., is present however and may answer questions about the plans.

Mr. Stokes indicated that the plans appear to meet the Town's requirements, however, he has concerns regarding parking, which he feels may not accommodate employee and customer parking based on the number of nail stations shown on the plans. Mr. Stokes cautioned that employees and patrons will not be allowed to utilize the parking spaces in the Publix parking lot or the realty parking lot and will be towed if that occurs. He would like to

know the number of employees that will be working at one time and the number of manicure and pedicure stations. He noted that the Town's code doesn't specifically address nail salon parking; parking is based on the square footage of the building. The board can put a condition on the site plan approval. Mr. Casey noted that the plans include an adjoining restaurant, and one parking space is required for every 3 seats in the restaurant. The plans meet the Town's requirements for restaurant parking. He commented that the seats in the waiting area aren't included in calculations for restaurant parking.

Bruce Moia, MBV Engineers, INC., answered questions from the board. He noted that there will be a firewall between the nail shop and restaurant and no access between the two businesses. The restaurant will see more patrons in the evening hours whereas the nail shop will be mostly utilized during the day. He noted that the plans meet all code requirements, however, he will resubmit them and include the number of stations. Mr. Stokes inquired about the hours of operation for the businesses.

Chair Rick Bertel entered the meeting at 5:45 p.m.

Mr. Casey commented that a stormwater maintenance agreement will be needed. Mr. Stokes requested the signage not be shown on the plans as signs are done separately by permit. There was further discussion regarding potential traffic and parking issues; a board member inquired about traffic information on sheet C-09.

2. Ordinance 2021-05 relating to zoning requirements for mobile food dispensing vehicles:

Mr. Casey provided background information regarding the legislative changes that prompted the drafting of this ordinance, and answered numerous questions asked by the board.

Chair Bertel asked for public comments; Candice Galleon, 1390 Stewart Ave, Melbourne, spoke. In summary, she explained that as a food truck owner she feels the ordinance is putting up barriers. The state treats food trucks like restaurants with regard to permitting, inspections, and licensing, which is very costly. To be successful, a food truck needs to have a following and limiting the number of days makes it hard to create a following.

Lengthy discussion followed; a board member noted that food truck operators could consider opening a brick and mortar restaurant if they want to sell food more frequently than what is allowed in the ordinance.

Motion by Member Sullivan, seconded by Member Mullen to find Ordinance 2021-05 consistent with the Town's Comprehensive Plan.

Several board members indicated they would like to see other cities' rules for food trucks. It was the consensus of the board that the ordinance could be amended in the future if it was found to be too restrictive.

Motion carried unanimously, 5-0.

D. Reports – Building Official: None.

E. Adjourn:

Motion by Vice Chair Mackiewicz, seconded by Member Mullen, and vote unanimous to adjourn the meeting at 6:51 p.m.

Rick Bertel, Chair

Attested by:

Rebekah Raddon, CMC, Town Clerk



APPLICATION FOR SITE PLAN REVIEW

2019 0721
(22)

This application must be completed and returned with all enclosures referred to herein to the office of the Building Official of the Town of Indialantic, Florida. This application will be referred to the Zoning and Planning Board for their study and recommendation. You will be advised of the date and time of the meeting before the Zoning and Planning Board. You may appear at the meeting in person or be represented by an authorized agent. If you cannot attend the meeting, you should make arrangements to have an authorized representative appear on your behalf as the application can be acted upon by the Board even in your absence.

1. Applicant: Tiffanys Spa and Nail Inc. - Hung Nguyen (new owner)
2. Site Address: Address not yet assigned. Corner of Watson Drive and SR A1A.
Parcel ID 27-38-31-EO-62-12
3. Contact's Name: Bruce Moia, P.E., MBV Engineering Inc.
4. Contact's Phone: 321-253-1510
5. Contact's Mailing Address: 1250 W. Eau Gallie Blvd., Suite H, Melbourne, FL 32935
6. Contact's Email Address brucem@mbveng.com
7. Legal Description Of Property Covered by This Application (Including Subdivision, Block and Lot(s): Indialantic by the Sea, Lot 12, Blk 623 Pb 0003 Pg 0035
8. Zoning District: _____
9. Property Owner, If Different Than Applicant (Owner Authorization Required):

10. Property Owner's Mailing Address: 2642 Shellwood Drive, Melbourne, FL 32934

11. Description of Project: 3,470 sf building with 2,470 sf to be used as nail salon and 1,000 sf to be used for restaurant.
-

New Site Plan / Site Plan Modification (Circle One)

PROCEDURES FOR OBTAINING SITE PLAN APPROVAL SHALL BE AS FOLLOWS:

- (1) **PREAPPLICATION CONFERENCE:** The applicant shall meet with the Building Official to discuss basic site plan requirements, consider preliminary features of the site and the proposed development, and determine if the proposed use conforms to the zoning requirements of the district.
- (2) **SITE PLAN CHECKLIST:** The applicant shall properly fill out a checklist provided by the Building Official. This checklist will summarize the site plan and it will be used as a guide for site plan evaluation.
- (3) **PRELIMINARY SITE PLAN:** Following the pre-application conference, 12 copies of a preliminary site plan prepared by a registered civil engineer or architect showing the proposed general layout, and a vicinity map showing the location of abutting streets, existing and proposed utilities, and storm drainage systems in accordance with the site plan requirements shall be submitted to the Building Department.
- (4) **REVIEW AND RECOMMENDATIONS:** Applications for site plan approval shall be submitted to the Building Official, who shall forward copies of the proposed plans to the Fire Department for its written recommendations regarding health, safety and welfare.

Upon completion of the above four steps and receipt of the recommendation from the Fire Department, the Zoning and Planning Board shall review the site plan and any recommendations at their next regular meeting.

Per Indialantic Code Section 113-27, Site Plan Review:

The zoning board shall not approve such plan unless it finds that such site plan conforms to all applicable provisions of the Town Code of Ordinances, that adequate off-street parking and loading facilities are provided for owners, tenants, visitors, and employees, and that adequate protection and separation are provided for contiguous and nearby residential property.

The zoning board may attach to its approval of a site plan any reasonable conditions, limitations or requirements which are found necessary in its judgment to effectuate the purpose of this section and carry out the spirit and purpose of the zoning ordinance.

Modification of site plan. Any change in use of buildings, structures, land or water, or institution of new uses, or alteration of or addition to buildings or structures shall be in accordance with a new or modified site plan conforming and approved pursuant to this section.

Approval time limit. The site plan approval shall terminate 540 days (18 months) thereafter if construction has not been started. Two extensions of up to 180 days (6 months) may be made by the zoning and planning board at its discretion for good cause shown, such as but not limited to delays in obtaining development permits from other governmental agencies or project financing delays.

(Code 1962, 28-98A; Ord. No. 217, 1, 10-18-77; Ord. No. 89-11 2, 4-18-89, Ord. No. 2019-12, 11-13-19)

SITE PLAN CHECK LIST

In reviewing such site plan the zoning board shall consider the location, size, height, spacing, appearance, character and utilization of any building, structure or use and their appurtenances, access and circulation of vehicles and pedestrians, streets, parking area, yards and open spaces, landscaping, and relationship to adjacent property.

A site plan shall include, but not necessarily be limited to the following:

- _____ (a) Site plan with grades or contours.
- _____ (b) Elevations, floor plans and uses of all buildings and structures.
- _____ (c) Location and character of all outside utilities.
- _____ (d) All curb cuts, driveways, parking areas, loading areas, and surfacing materials of same.
- _____ (e) All pedestrian walks, malls, yards, and open spaces.
- _____ (f) Location, size, character, height and orientation of all signs.
- _____ (g) Location, height and general character of walls and fences.
- _____ (h) Location and general character of landscaped areas and the common and botanical name of all trees, shrubs, and plants, with the number and size of each category or individual item, and the proposed watering and continued care in order to maintain the landscaping in accordance with approved site plan.
- _____ (i) All buildings constructed in those areas designated as special hazard areas on the current flood hazard boundary maps published by the Department of Housing and Urban Development, Federal Insurance Administration, shall have all finished floor elevations related to Coast and Geodetic Survey mean sea level datum.
- _____ (j) Storm Drainage System.

OWNER AUTHORIZATION

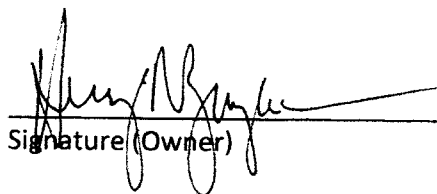
Site Plan Submittal

I, Hung M Nguyen, President Tiffanys Spa and Nail Inc., owner of the following property:

Lot(s) 12 Block 62

Street Address: Not assigned, Parcel ID 27-38-31-EO-62-12, Indialantic, Florida, 32903

do hereby authorize Bruce Moia, P.E., MBV Engineering, Inc. to submit a site plan application on my behalf.


Signature (Owner)

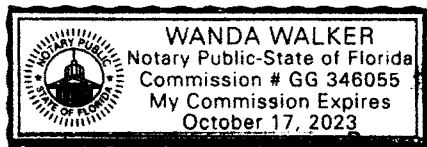
Hung M Nguyen
Printed Name (Owner)

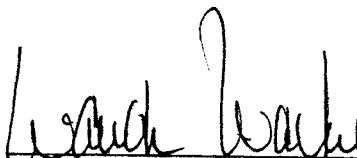
State of Florida

Brevard County

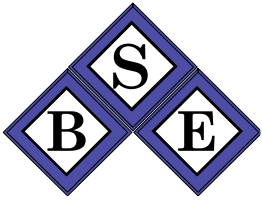
The foregoing Owner Authorization was acknowledged before me by means of:
☒ physical presence or ☐ online notarization, this 19th day of April, 2021 by
Hung M Nguyen (owner).

Notary Seal:




(Signature of Notary Public – State of Florida)

ally Known ☒ OR Produced Identification: _____



B.S.E. CONSULTANTS, INC.
Consulting ~ Engineering ~ Land Surveying

Scott M. Glaubitz, P.E., P.L.S.
President

Hassan Kamal, P.E.
Vice President

February 1, 2021

Via Email

Mr. Michael Casey
Town Manager
Town of Indialantic
216 Fifth Avenue
Indialantic, FL 32903
Email: mcasey@indialantic.com

**Re: Town of Indialantic – Tiffany's Beachside ~ 1st Review
B.S.E. File # 89080.153**

Dear Mike:

We have conducted a review of the plans from MBV Engineering dated January 19, 2021 for the above reference project and have the following comments:

1. Stormwater calculations submitted directly to B.S.E. - APPROVED
2. Please submit signed and sealed surveys.
3. Please use HPP pipe instead of ADS.

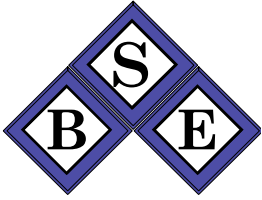
Should you have any questions please do not hesitate to contact our office.

Very truly yours,

Scott M. Glaubitz, P.E., P.L.S.

Scott M. Glaubitz, P.E., P.L.S.
President
B.S.E. Consultants, Inc.

SMG/jhm
89080.153.Town.corr.21-s4899.feb



B.S.E. CONSULTANTS, INC.
Consulting ~ Engineering ~ Land Surveying

Scott M. Glaubitz, P.E., P.L.S.
President

Hassan Kamal, P.E.
Vice President

April 20, 2021

Via Email

Mr. Michael Casey
Town Manager
Town of Indialantic
216 Fifth Avenue
Indialantic, FL 32903
Email: mcasey@indialantic.com

***Re: Town of Indialantic – Tiffany's Beachside ~ 2nd Review
B.S.E. File # 89080.153***

Dear Mike:

We have conducted a second review of the plans. We have no further engineering comments.

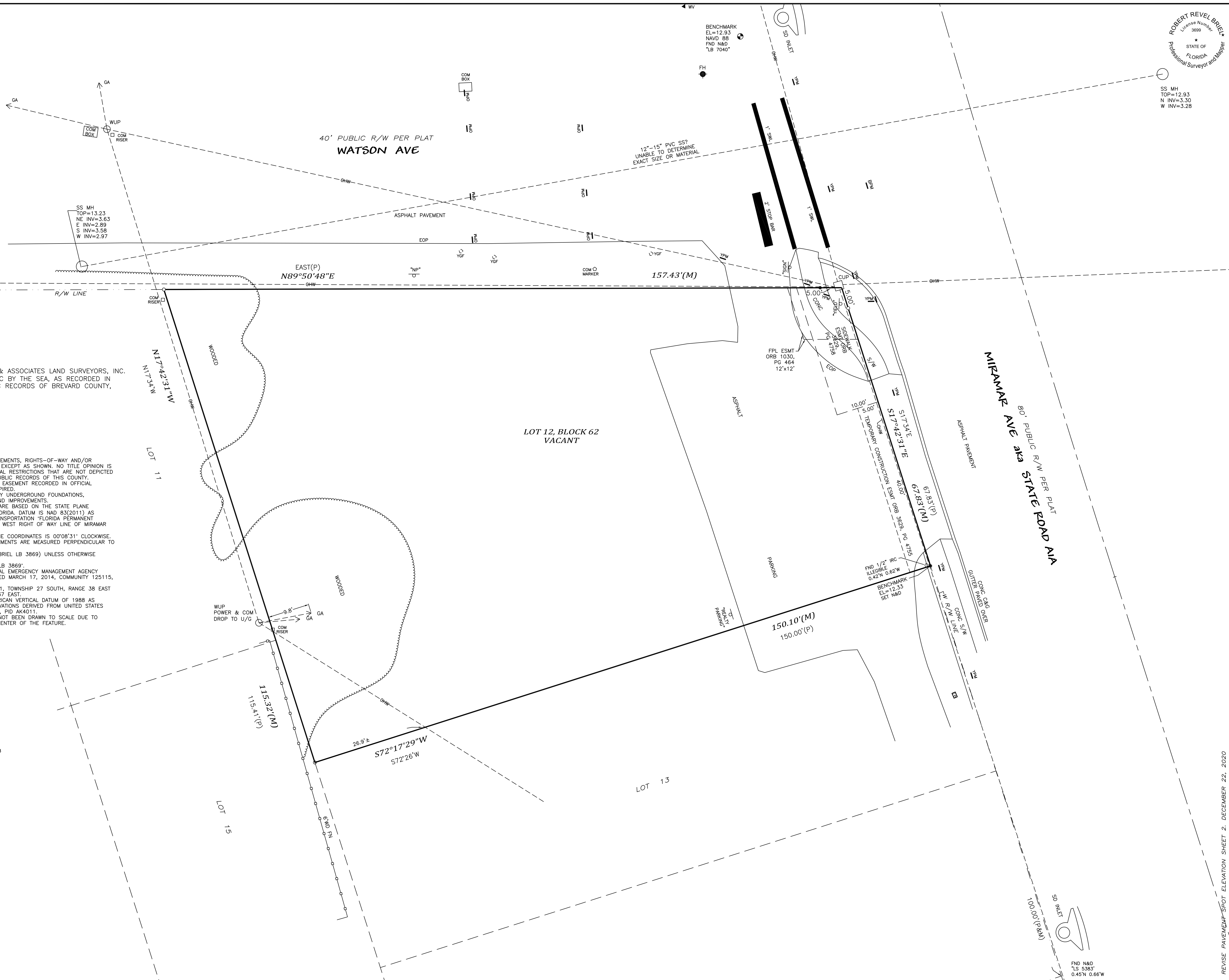
Should you have any questions please do not hesitate to contact our office.

Very truly yours,

Scott M. Glaubitz, P.E., P.L.S.

Scott M. Glaubitz, P.E., P.L.S.
President
B.S.E. Consultants, Inc.

SMG/jhm
89080.153.Town.corr.21-s5009.apr



REVISE PAVEMENT SPOT ELEVATION SHEET 2. DECEMBER 22, 2020

TYPE: BOUNDARY SURVEY

FIELD SURVEY DATE: SEPTEMBER 8, 2020

DRAWN BY: RBB

CHECKED BY: RRI

SCALE: 1" = 10'

BRIEL & ASSOCIATES
Land Surveyors, Inc.

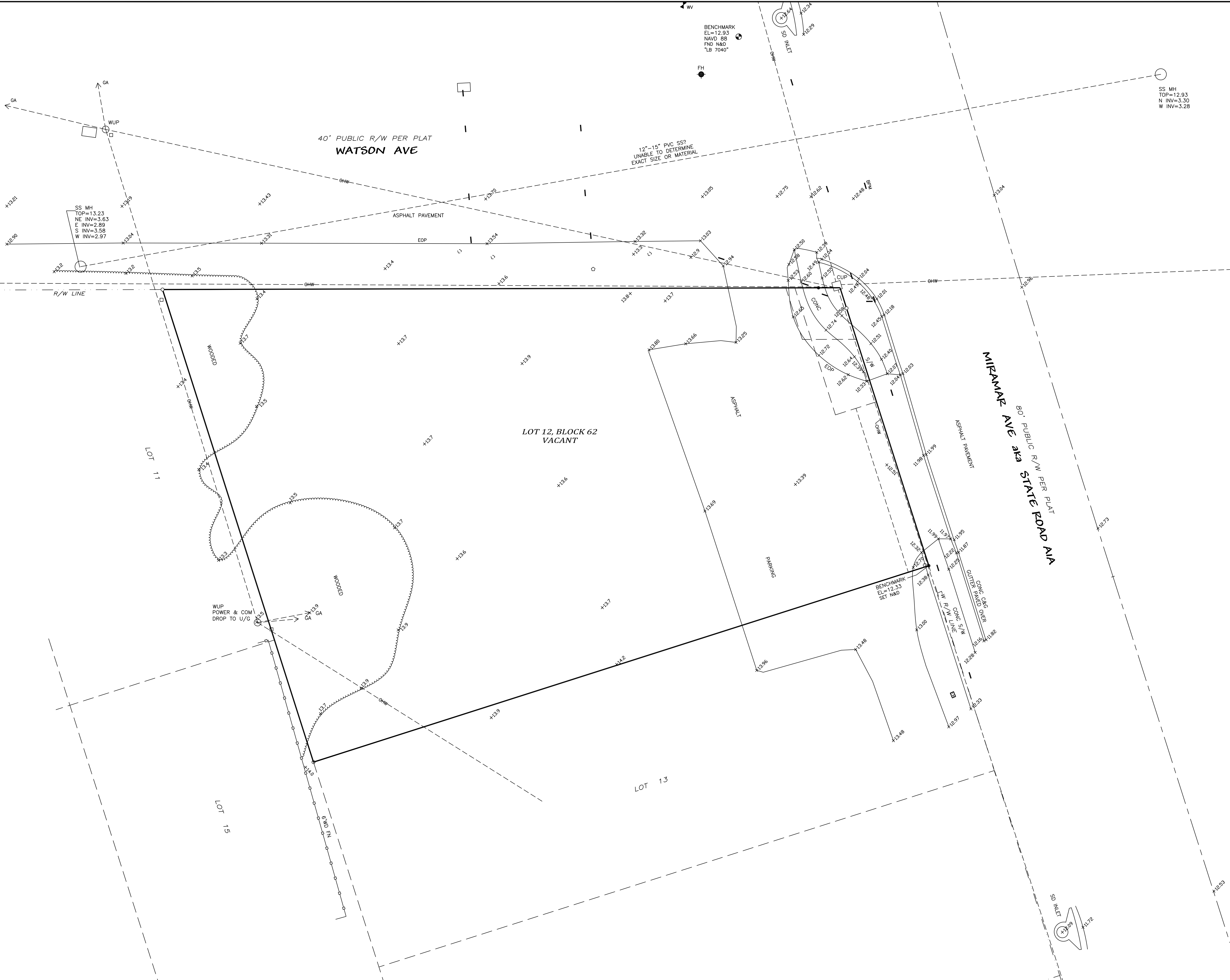
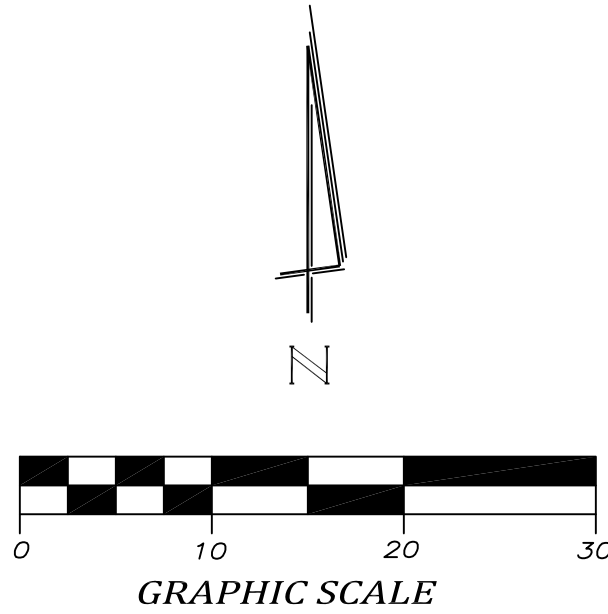
1790 Hwy. A1A, Suite 208 • Satellite Bch., Florida 32937 • (321) 773-7775

PLAT OF SURVEY FOR:
*LOT 12, BLOCK 62
INDIALANTIC BY THE SEA
for: W&J CONSTRUCTION, INC*

This Map of Report conforms to the Standards of Practice for Professional Surveyors and Mappers as outlined in Chapter SJ-17, F.A.C.

ROBERT R. BRIEL, Florida Professional Surveyor & Mapper, No. 3569

This survey is prepared and certified for the exclusive use of the client or clients named hereon. Not valid without the signature and original raised seal of a Florida licensed surveyor. This map is not to be used for any other purpose or reports by other than the signing party is prohibited.



- ABBREVIATIONS:
- BPM = BLUE PAINT MARK
 - COM = COMMUNICATION
 - CONC = CONCRETE
 - CUP = CONCRETE UTILITY POLE
 - EB = ELECTRIC BOX
 - EL = ELEVATION
 - EOP = EDGE OF PAVEMENT
 - ESMT = EASEMENT
 - FI = FIRE HYDRANT
 - FN = FENCE
 - FND = FOUND
 - GA = GUY ANCHOR
 - INV = INVERT
 - IRC = IRON ROD & CAP
 - M = MEASURED
 - MH = MANHOLE
 - N&D = NAIL & DISK
 - NAVD 88 = NORTH AMERICAN VERTICAL DATUM OF 1988
 - NP = "NO PARKING" SIGN
 - OHW = OVERHEAD WIRE
 - OPM = ORANGE PAINT MARK
 - ORB = OFFICIAL RECORDS BOOK
 - P = PLAT
 - PG = PAGE
 - S/W = SIDEWALK
 - SD = STORM DRAIN
 - SS = SANITARY SEWER
 - SWL = SOLID SINGLE WHITE LINE
 - WD = WOOD
 - WUP = WOOD UTILITY POLE
 - WV = WATER VALVE
 - YGF = YELLOW GAS FLAG
 - YPM = YELLOW PAINT MARK

TIFFANY'S BEACHSIDE

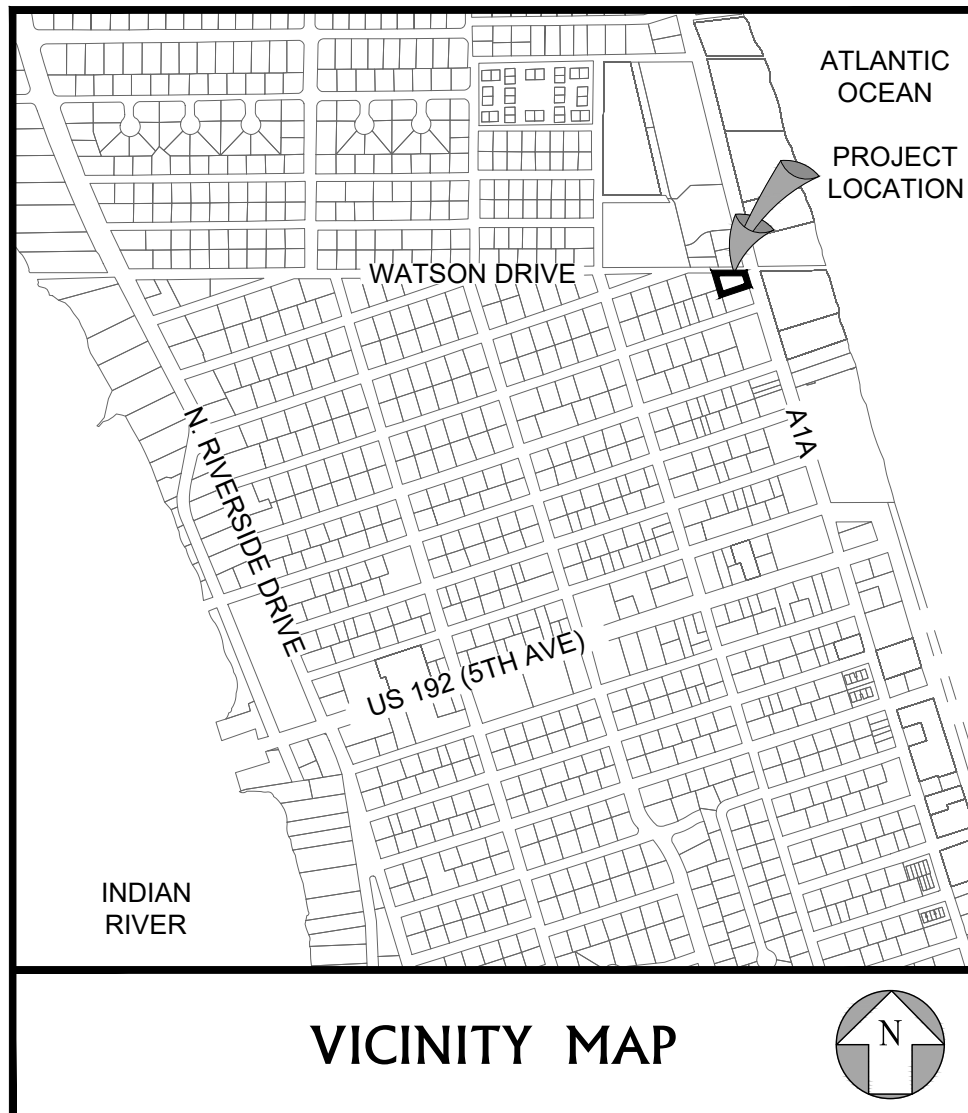
SECTION 31, TOWNSHIP 27S, RANGE 38E
INDIALANTIC, FLORIDA

JANUARY 2021

REVISED: FEBRUARY 18, 2021

REVISED: MARCH 16, 2021

REVISED: APRIL 9, 2021



DRIVING DIRECTIONS: FROM US1 TAKE US192 AND HEAD EAST OVER THE BRIDGE TO A1A. HEAD NORTH TO WATSON DR. TO SITE ON THE WEST CORNER OF THE INTERSECTION.



APPLICANT/OWNER

HUNG NGUYEN

2642 SHELLWOOD DRIVE
MELBOURNE, FL 32934

ENGINEER



CIVIL ■ STRUCTURAL ■ SURVEYING ■ ENVIRONMENTAL
1250 W. EAU GALLIE BLVD., SUITE H
MELBOURNE, FL 32935
PH: (321) 253-1510
VERO BEACH, FL - PH: (772) 569-0035
FT. PIERCE, FL - PH: (772) 468-9055
PALM CITY, FL - PH: (772) 426-9959

SURVEYOR

BRIEL & ASSOCIATES
Land Surveyors, Inc.

1790 HWY. A1A - SUITE 208
SATELLITE BEACH, FL 32937
(321)773-7775

Sheet List Table

Sheet Number	Sheet Title
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	EXISTING SITE AND DEMOLITION PLAN
C-04	EROSION CONTROL DETAILS
C-05	SITE PLAN
C-06	PAVING, GRADING, AND DRAINAGE PLAN
C-07	UTILITY PLAN
C-08	SECTIONS
C-09	NEIGHBORHOOD CONNECTION PLAN
C-10	GENERAL DETAILS
C-11	FDOT DETAILS
C-12	UTILITY DETAILS
L-01	LANDSCAPING PLAN



REQUIRED PERMITS
TOWN OF INDIALANTIC SITE PLAN APPROVAL
SJRWMD 10-2
CITY OF MELBOURNE WATER
BREVARD COUNTY SEWER
FDOT DRIVEWAY EXEMPTION
FDOT DRAINAGE EXEMPTION
FDOT UTILITY PERMIT

TOWN OF INDIALANTIC

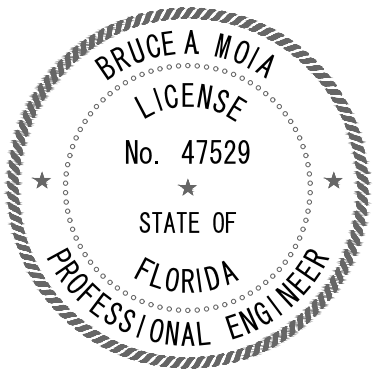
TOWN PERMIT NUMBER:

FDOT

FDOT PERMIT NUMBER: 2021-A-590-00003
2021-D-590-00002

CITY OF MELBOURNE WATER

CITY PROJECT: UTIL2021-0001



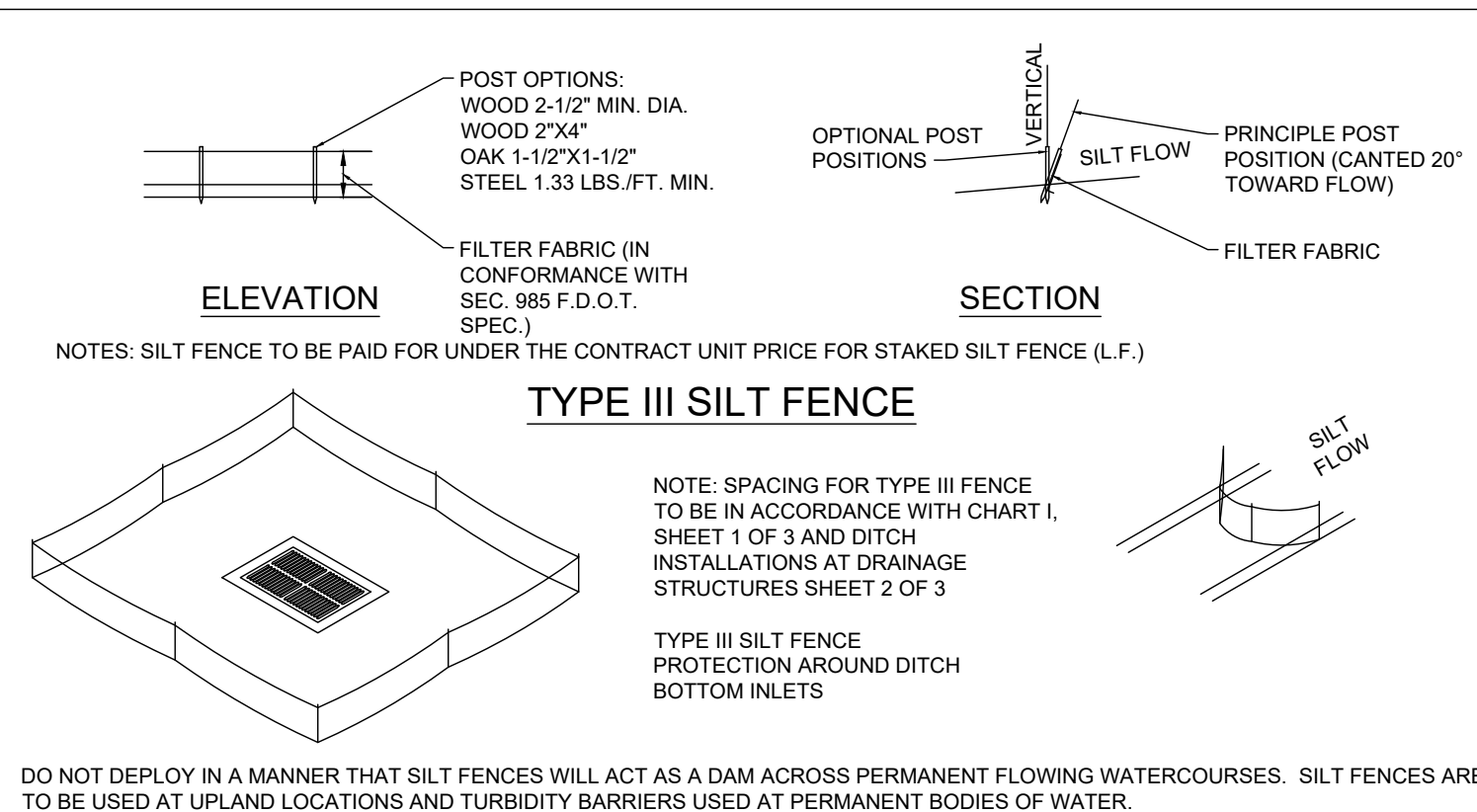
BRUCE A. MOIA
FL. P.E. #47529

DATE: 4/20/2021

PROJECT: 20-1060

SHEET

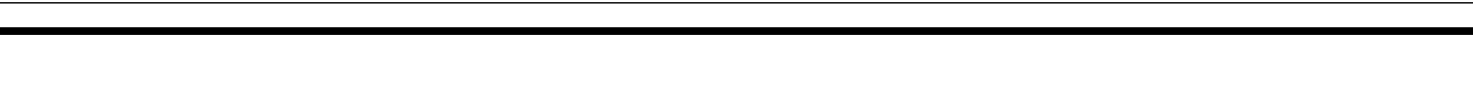
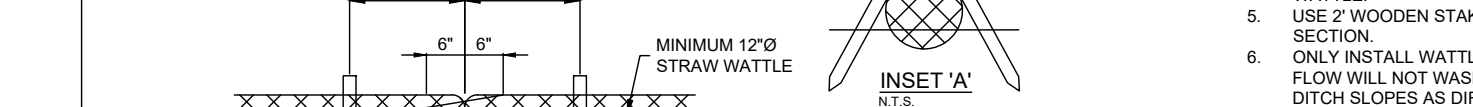
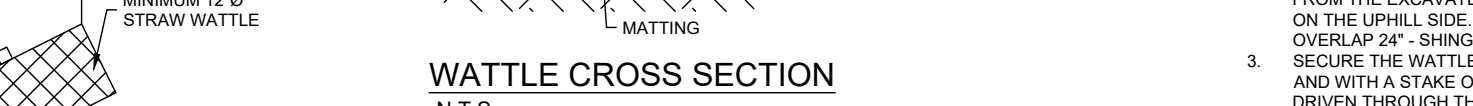
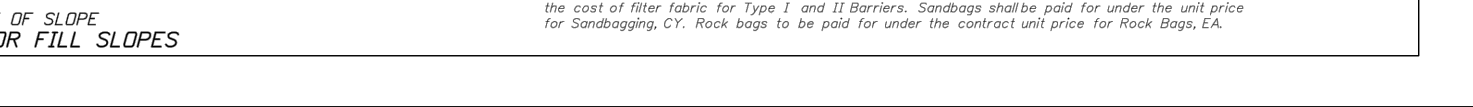
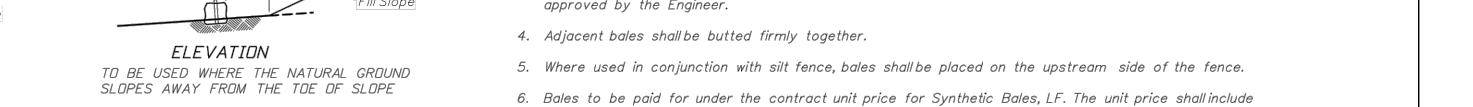
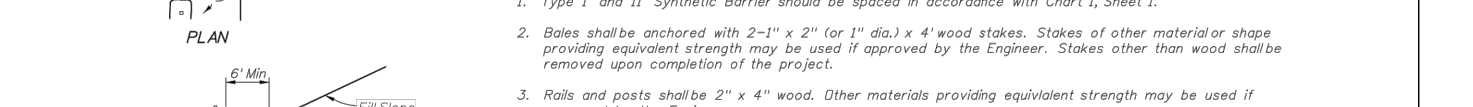
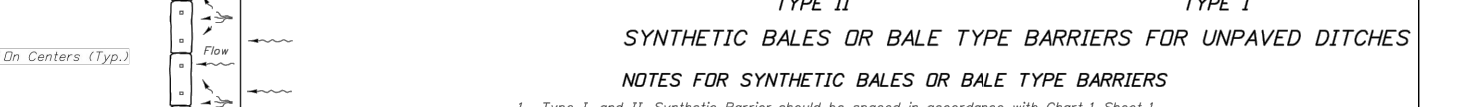
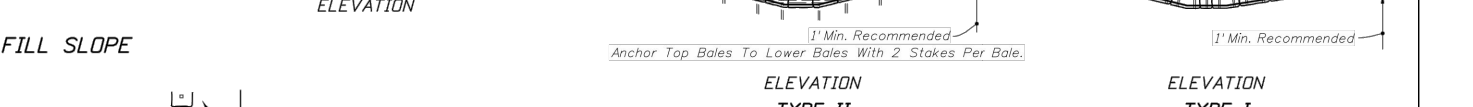
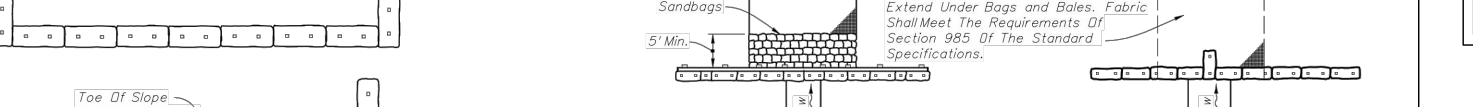
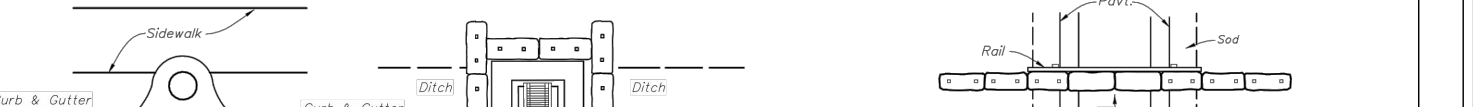
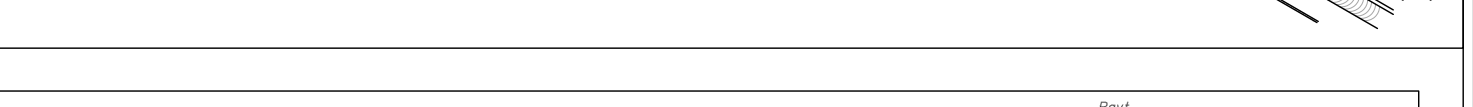
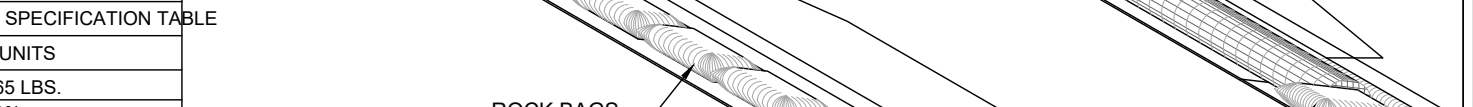
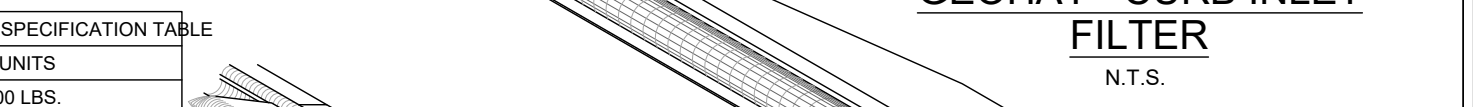
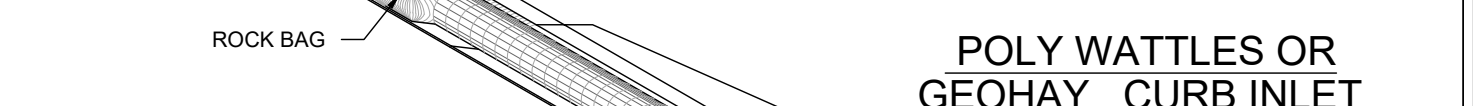
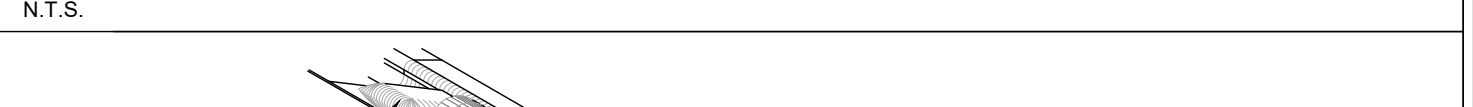
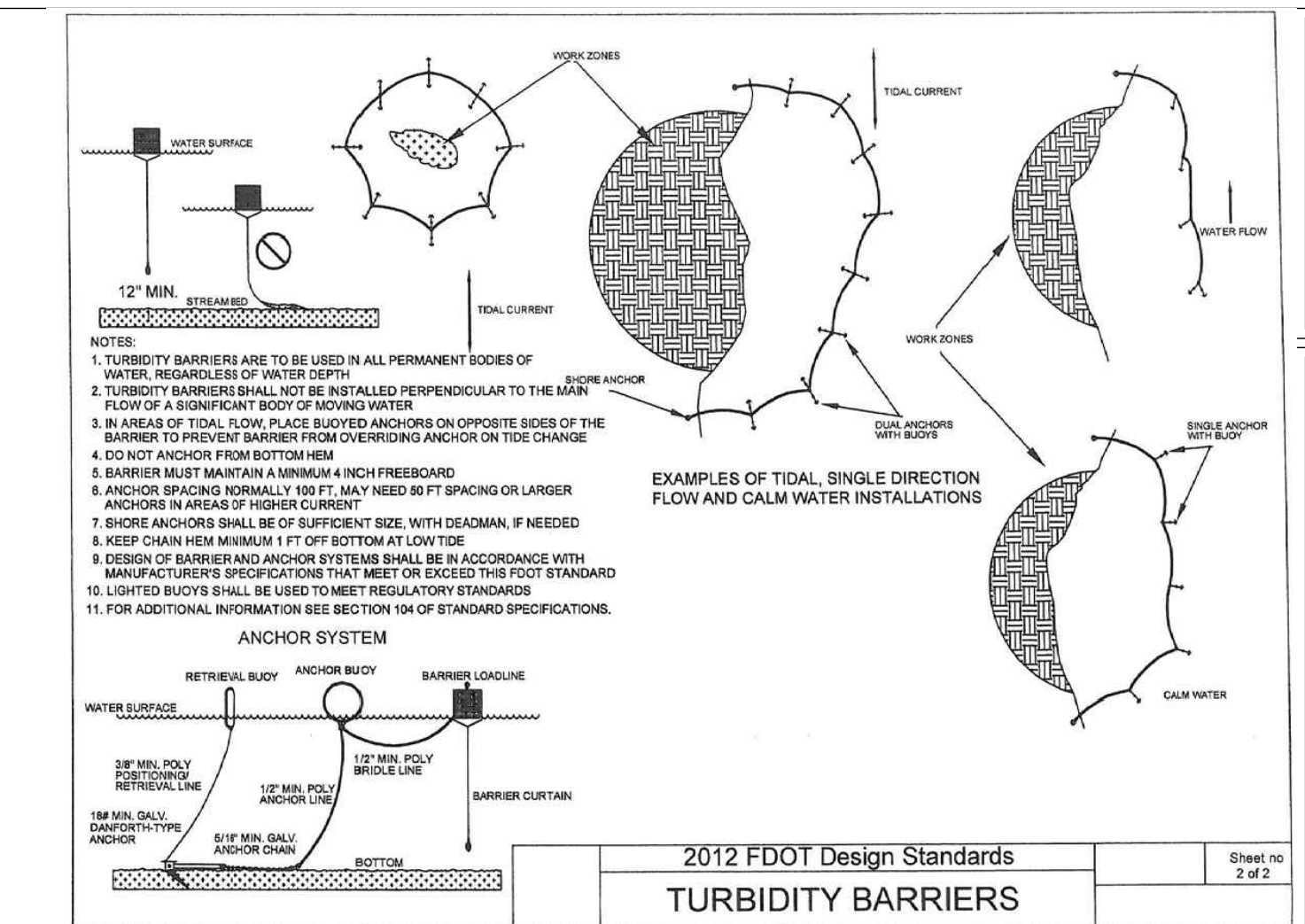
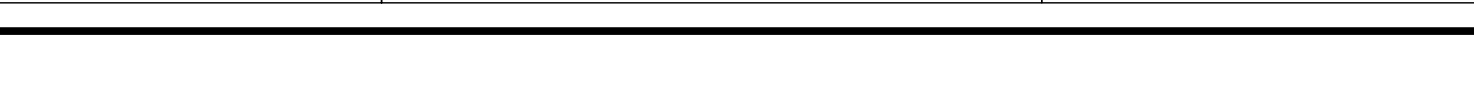
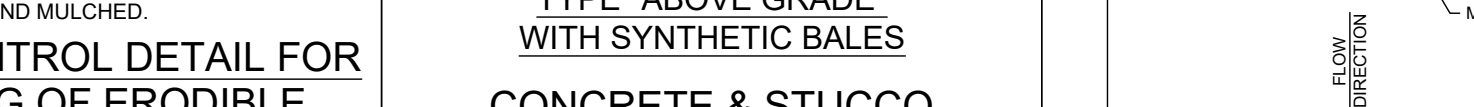
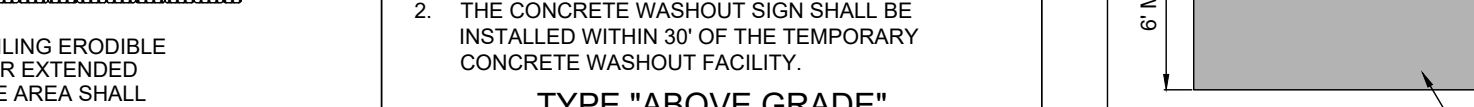
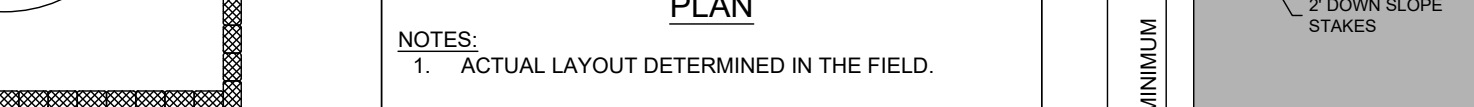
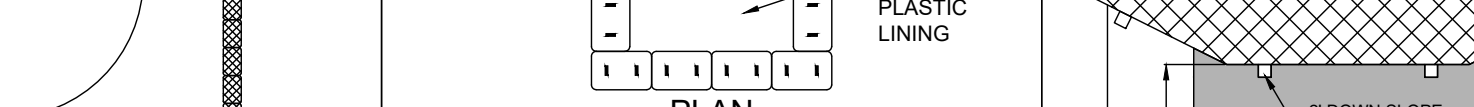
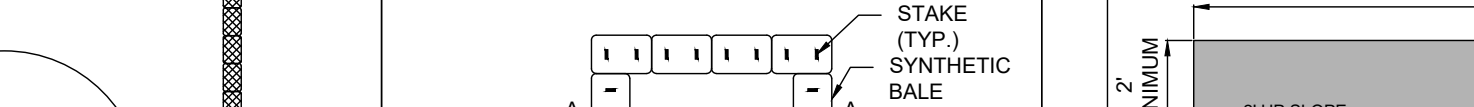
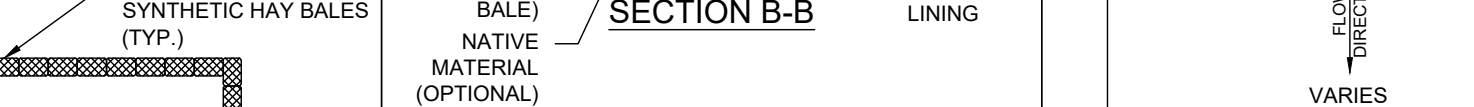
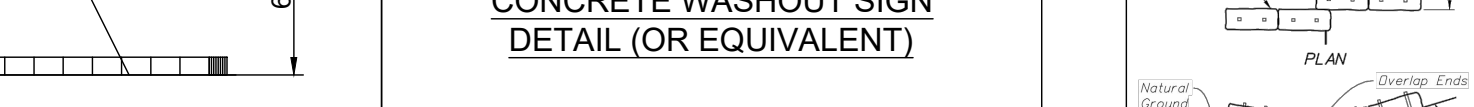
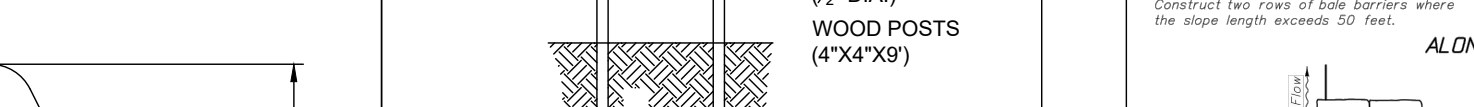
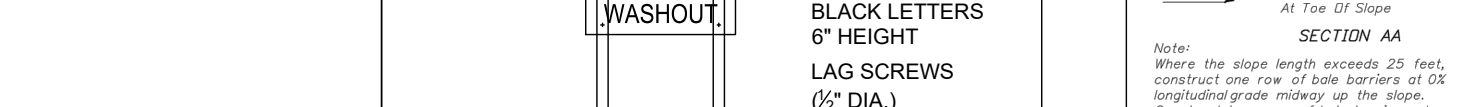
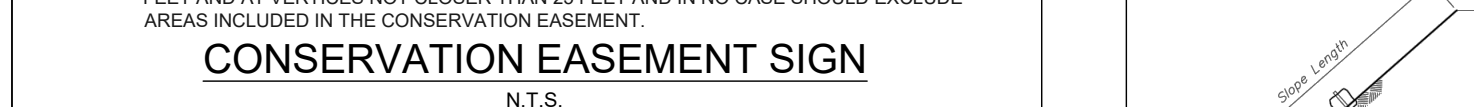
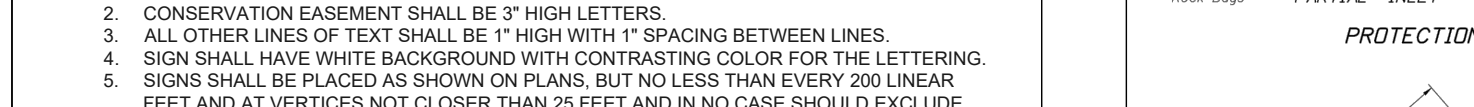
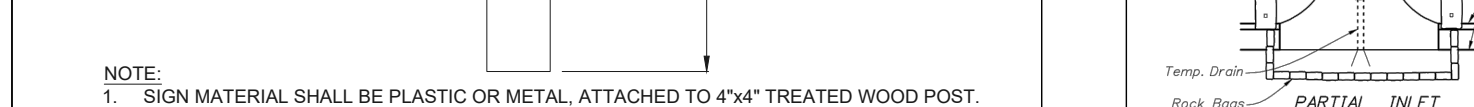
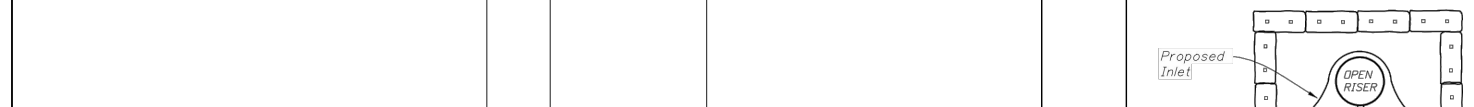
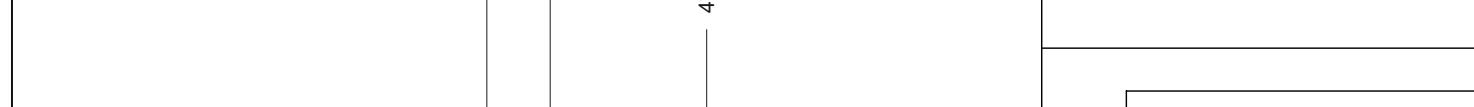
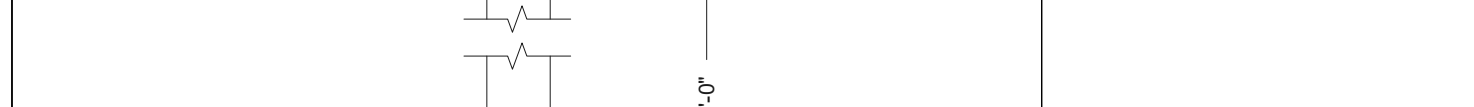
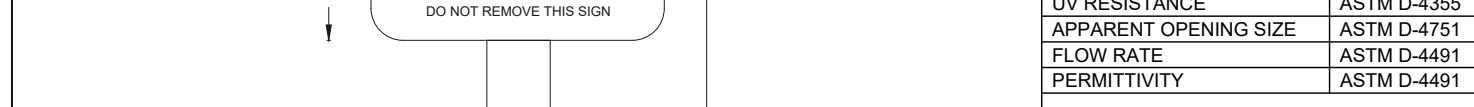
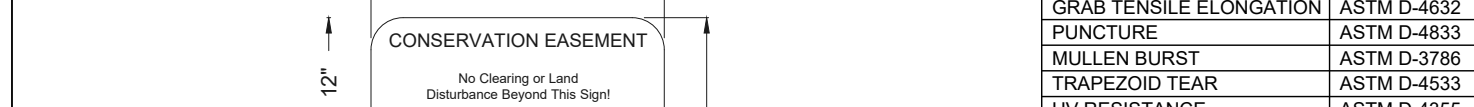
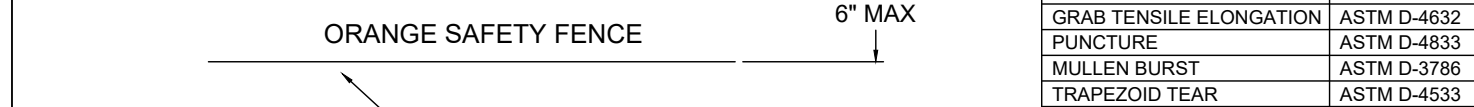
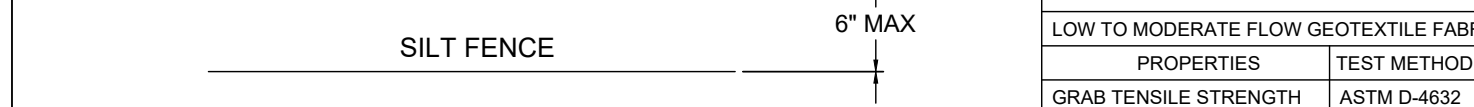
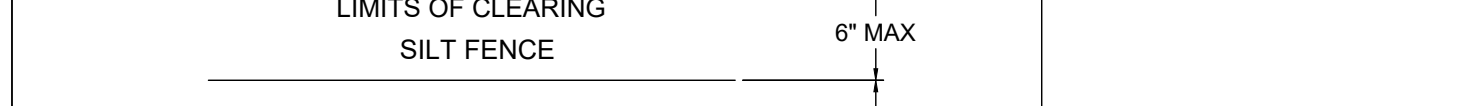
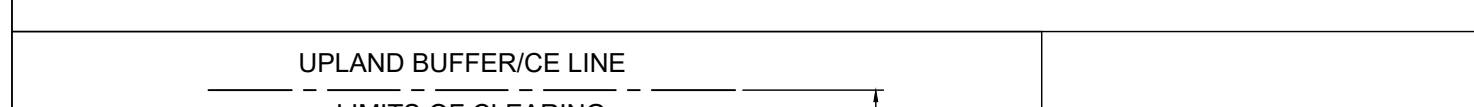
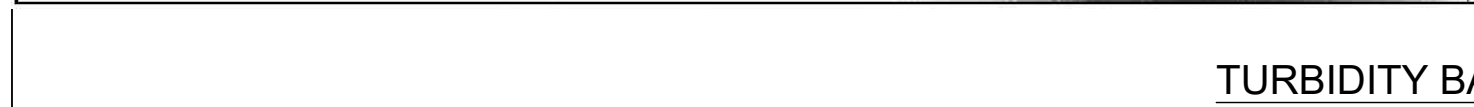
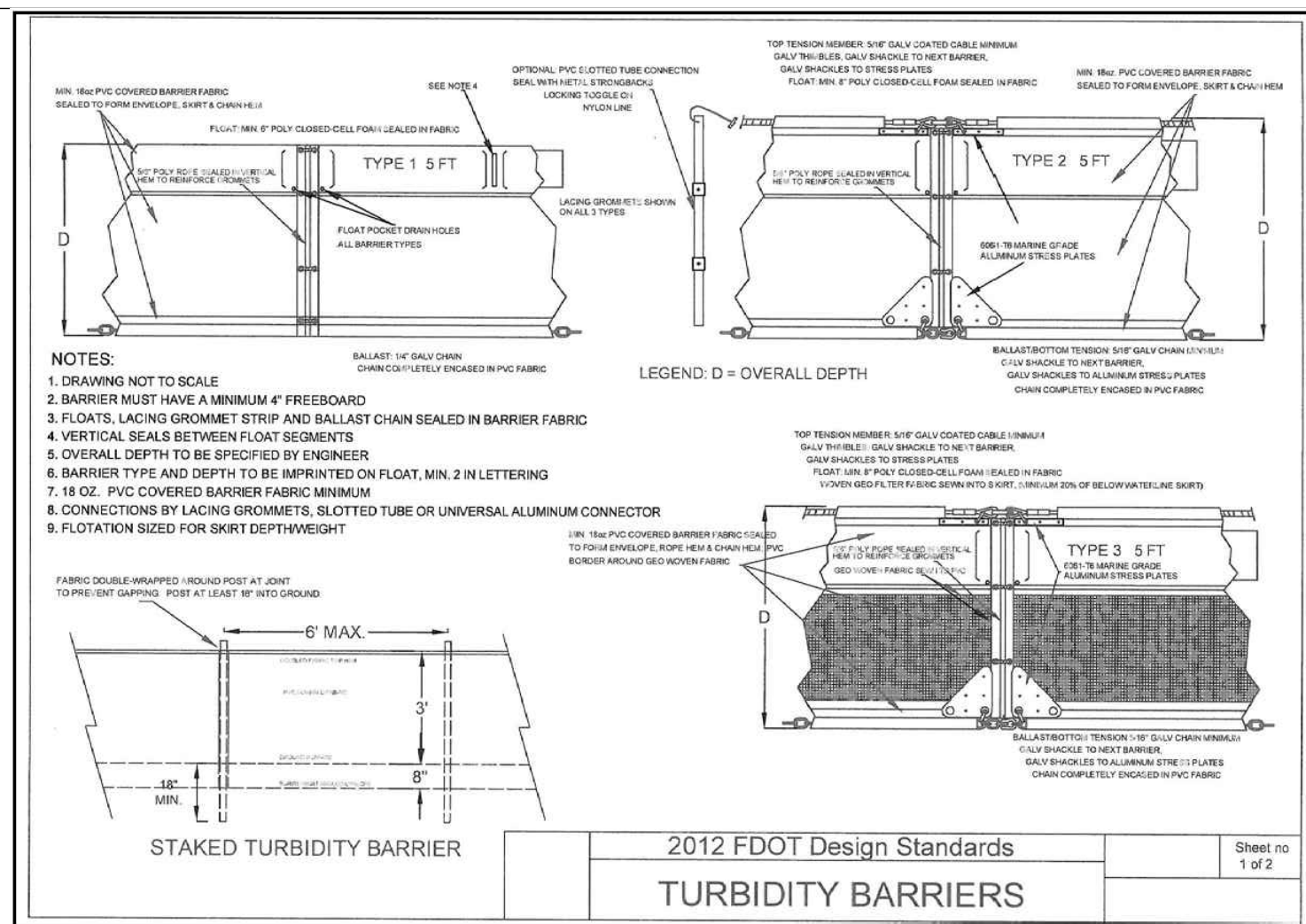
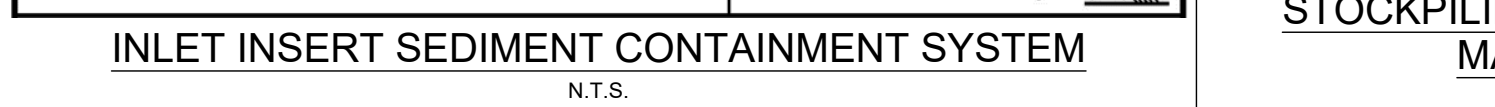
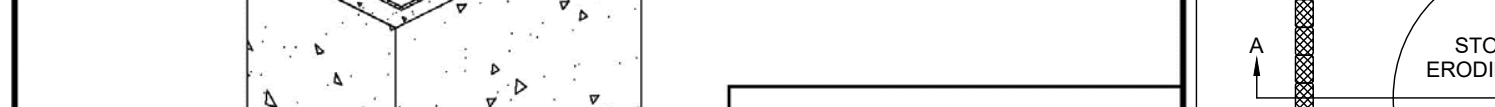
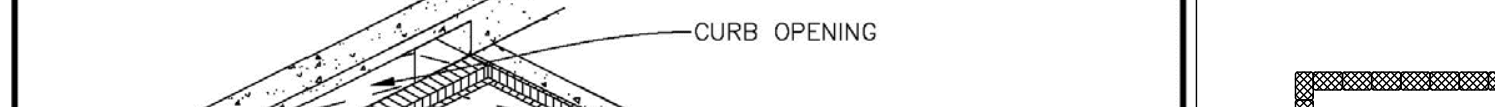
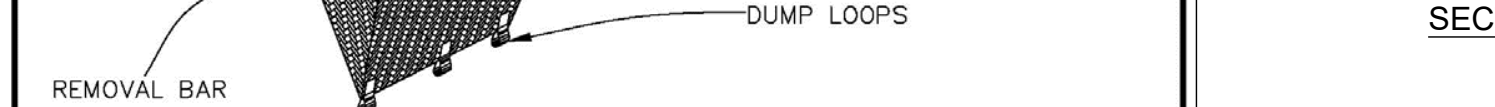
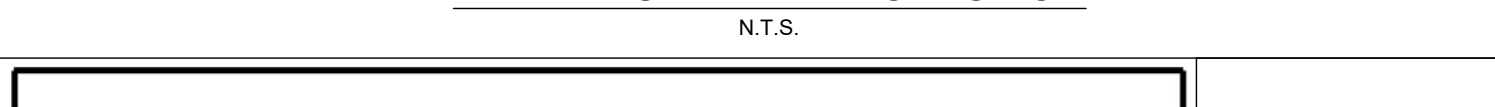
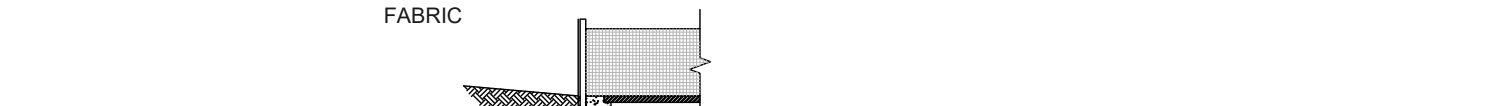
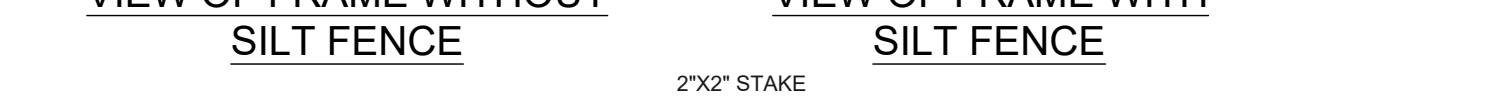
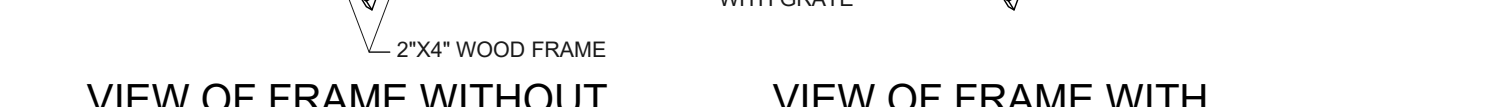
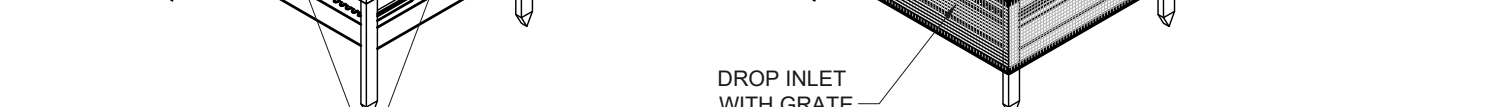
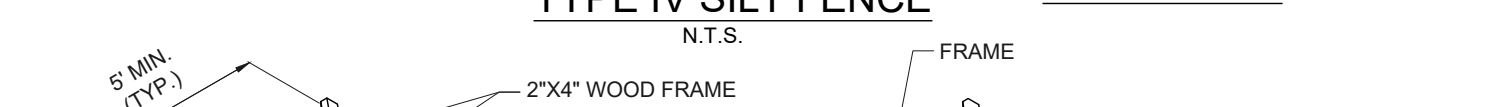
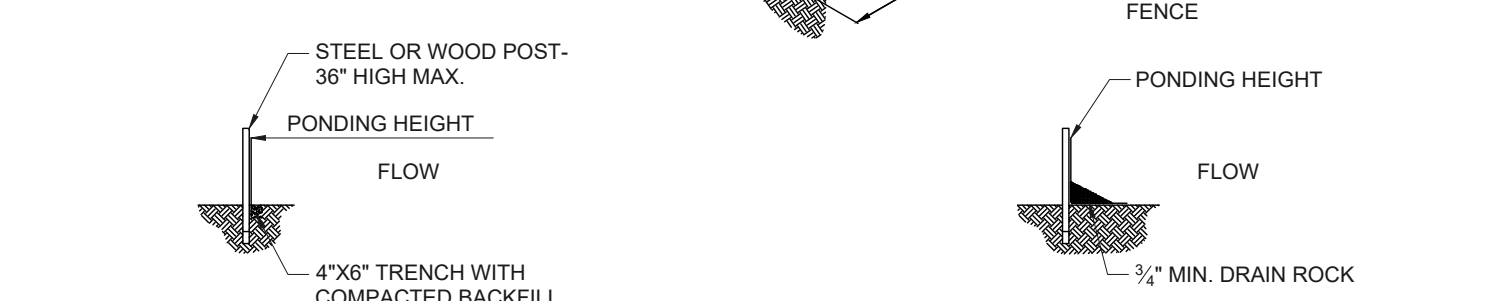
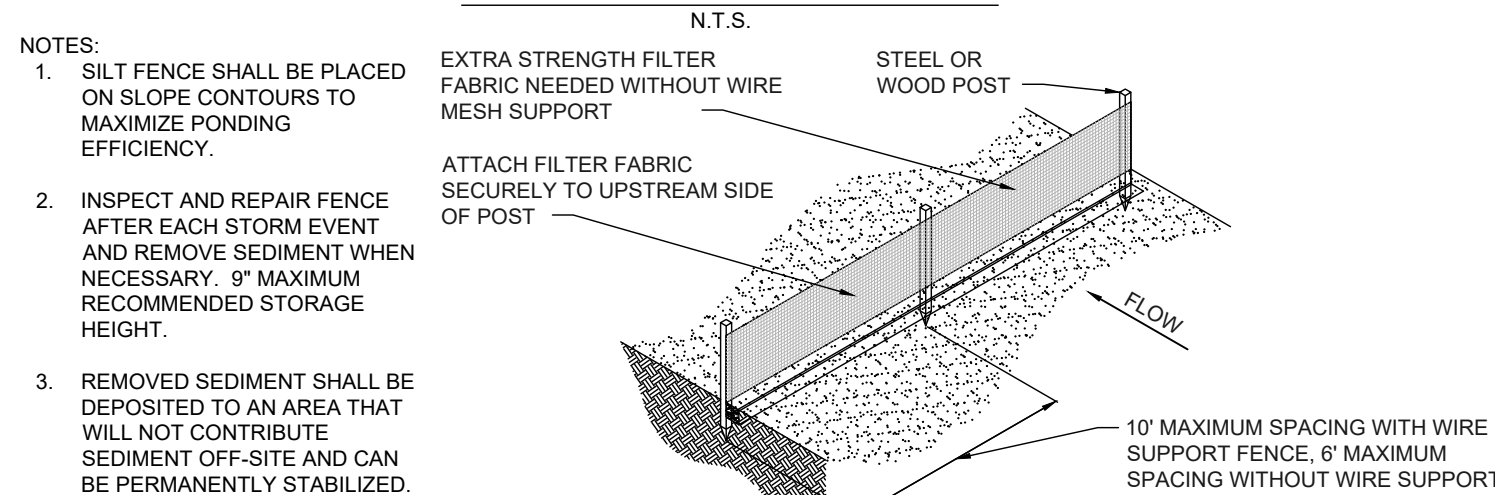
C-01



TYPE III SILT FENCE

- NOTE: SPACING FOR TYPE III FENCE TO BE IN ACCORDANCE WITH CHART I, SHEET 1 OF 3 AND DITCH INSTALLATIONS AT DRAINAGE STRUCTURES SHEET 2 OF 3
- TYPE III SILT FENCE PROTECTION AROUND DITCH BOTTOM INLETS
- DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER
- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

SILT FENCE APPLICATIONS



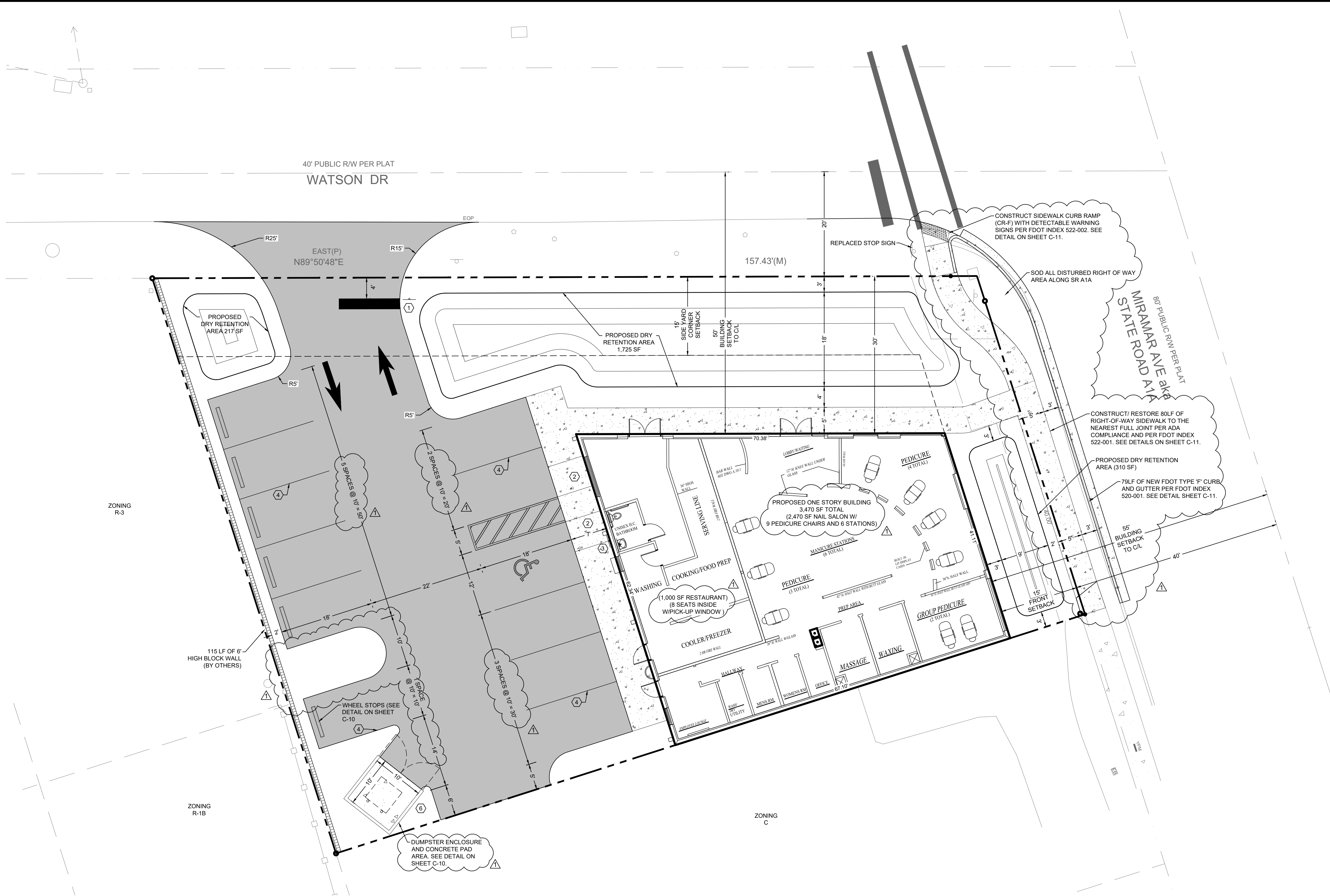
EROSION AND SEDIMENTATION CONTROL NOTES

CONSTRUCTION ACTIVITIES CAN RESULT IN THE GENERATION OF SIGNIFICANT AMOUNTS OF POLLUTANTS WHICH MAY REACH SURFACE OR GROUND WATERS. ONE OF THE PRIMARY POLLUTANTS OF SURFACE WATERS IS SEDIMENT DUE TO EROSION. EXCESSIVE QUANTITIES OF SEDIMENT WHICH REACH WATER BODIES OF FLOOD PLAINS HAVE BEEN SHOWN TO ADVERSELY AFFECT THEIR PHYSICAL, BIOLOGICAL AND CHEMICAL PROPERTIES. TRANSPORTED SEDIMENT CAN OBSTRUCT STREAM CHANNELS, REDUCE HYDRAULIC CAPACITY OF WATER BODIES OF FLOOD PLAINS, REDUCE THE DESIGN CAPACITY OF CULVERTS AND OTHER WORKS, AND ELIMINATE BENTHIC INVERTEBRATES AND FISH SPAWNING SUBSTRATES BY SILTATION. EXCESSIVE SUSPENDED SEDIMENTS REDUCE LIGHT PENETRATION AND THEREFORE, REDUCE PRIMARY PRODUCTIVITY.

MINIMUM STANDARDS

- SEDIMENT BASIN AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
- ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE REVIEWER, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
<

V:\2020\1700 BEACHSIDE TIFFANY'S CASHIER\2019 EXISTING SITE.dwg 4/20/2021 10:40 AM
MIRANDA.BEACHSIDE



SIGNAGE, STRIPING AND RAMPS LEGEND

- | | |
|---|---|
| ① | (R1-1) 36" STOP SIGN AND 24" THERMOPLASTIC SOLID WHITE STOP BAR |
| ② | HANDICAP RAMP - PER FDOT INDEX 711-001 |
| ③ | WALL MOUNTED HANDICAP PARKING SIGN (SEE DETAIL SHEET C-9) |
| ④ | 4" SOLID WHITE PARKING STRIPE (TYP) |
| ⑤ | 6" HIGH DUMPSTER ENCLOSURE (SEE DETAIL ON SHEET C-10) |

SITE INFORMATION

GENERAL STATEMENT

THIS PROPOSED PROJECT INVOLVES CONSTRUCTION OF A 3,470 SF ONE STORY BUILDING, CONSISTING OF 1,000 SF OF RESTAURANT AND 2,470 SF COMMERCIAL ALONG WITH SITE IMPROVEMENTS WITHIN 0.32 ACRES.

OWNER

HUNG NGUYEN
2642 SHELLWOOD DRIVE
MELBOURNE, FL 32934

ENGINEER

MBV ENGINEERING, INC.
1250 W. EAU GALIE BLVD, UNIT H
MELBOURNE, FL 32935 PHONE:
(321) 253-1510

APPLICANT

HUNG NGUYEN
2642 SHELLWOOD DRIVE
MELBOURNE, FL 32934

SURVEYOR

BRIEL & ASSOCIATES
LAND SURVEYING, INC.
1790 HIGHWAY A1A - SUITE 208
SATELLITE BEACH, FL 32937
(321) 773-7775

SITE ADDRESS

NOT ASSIGNED
INDIALNTIC, FL 32903

ZONING

C - COMMERCIAL

TAX PARCEL I.D. NUMBER(S)

27-38-31-E0-42-12

TAX ACCOUNT NO.

2731498

ZONING NOTES

CLASSIFICATION: "C" COMMERCIAL

SIZE:	MINIMUM LOT AREA	REQUIRED = 5,000 SQ FT	PROVIDED = 13,892 SQ FT
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MINIMUM SETBACKS:

FRONT BUILDING A1A TO CIL	= 62 FEET	= 55 FEET
FRONT BUILDING	= 15 FEET	= 15 FEET
SIDE BUILDING WATSON DR TO CIL	= 50 FEET	= 50 FEET
SIDE INTERIOR	= 0 FEET	= 0 FEET
SIDE YARD CORNER	= 15 FEET	= 15 FEET
REAR BUILDING	= 25 FEET	= 68 FEET

MAXIMUM BUILDING HEIGHT:	= 35 FEET	= 20,833 FEET
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PARKING REQUIREMENTS

REQUIRED: RESTAURANT: 1 SPACE PER 3 SEATS (8 SEATS/ 3 SEATS = 3 SPACES)
COMMERCIAL: 2 SPACES FOR THE FIRST 400 SF + 1 PER 400 SF
(2,470 SF = 8 SPACES)

TOTAL REQUIRED: 11 SPACES

PROVIDED: 12 SPACES (11 REGULAR SPACES + 1 HIC SPACE)

HOURS OF OPERATION FOR RESTAURANT: 10 AM TO 8:30 PM
MAX EMPLOYEES PER SHIFT: 3

HOURS OF OPERATION FOR NAIL SALON: 9 AM TO 7 PM
9 PEDICURE CHAIRS & 6 MANICURE STATIONS

PERMITS NEEDED

TOWN OF INDIALNTIC
SJRWMD 10-2
CITY OF MELBOURNE WATER
BREVARD COUNTY SEWER
FDOT DRIVEWAY EXEMPTION
FDOT DRAINAGE EXEMPTION
FDOT UTILITY PERMIT

FLOOD ZONE

THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" PER F.I.R.M. PANEL
No. 12009C 0602 G, DATED MARCH 17, 2014.

SANITARY SEWER SOURCE

BREVARD COUNTY SANITARY SEWER SYSTEM

POTABLE WATER SOURCE

CITY OF MELBOURNE WATER SYSTEM

CONSTRUCTION SCHEDULE

JUNE 2021
DECEMBER 2021

TRAFFIC STATEMENT

PER ITE TRIP GENERATION MANUAL, 10TH EDITION

HAIR SALON (918) (CLOSEST LAND USE FOR NAIL SALON)

WEEKDAY	= 1.21 TRIPS/1,000 SF x 2,470 SF = 3 TRIPS
PEAK AM	= 1.45 TRIPS/1,000 SF x 2,470 SF = 4 TRIPS

RESTAURANT W/O DRIVE THRU (933)

WEEKDAY	= 25.10 TRIPS/1,000 SF X 1,000 SF = 25 TRIPS
PEAK AM	= 28.34 TRIPS/1,000 SF X 1,000 SF = 28 TRIPS

* NOTE: BASED ON THE BUILDING LOCATION PEDESTRIAN/BICYCLE AND BUS TRAFFIC IS EXPECTED.

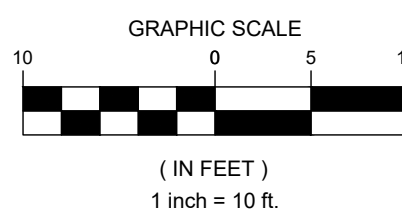
PROJECT INFORMATION

TOTAL SITE AREA	13,744.94 SF	(0.316 AC)	100.00%
EXISTING			
EXISTING CONCRETE	88.80 SF	(0.002 AC)	0.65%
EXISTING ASPHALT	2,932.73 SF	(0.067 AC)	21.34%
EXISTING IMPERVIOUS	3,021.54 SF	(0.069 AC)	21.98%
EXISTING PERVIOUS	10,723.40 SF	(0.246 AC)	78.02%
TO BE REMOVED			
ALL ONSITE ASPHALT AND CONCRETE TO BE REMOVED			
PROPOSED			
PROPOSED BUILDING AREA	3,470.00 SF	(0.080 AC)	36.32%
PROPOSED CONCRETE	1,063.13 SF	(0.024 AC)	7.73%
PROPOSED ASPHALT	4,992.66 SF	(0.111 AC)	25.25%
TOTAL NEW IMPERVIOUS AREA	9,525.80 SF	(0.215 AC)	68.04%
TOTAL PERVIOUS AREA	4,219.14 SF	(0.101 AC)	31.96%

CONCRETE SIDEWALK



ASPHALT PAVEMENT



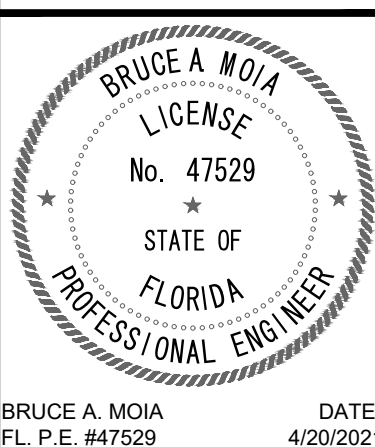
JOB NO.	DESIGNED	DRAWN	DATE	CHECKED	DATE ISSUED
20-1060	TAC	AFR	10-22-2020	BAM	4/20/2021

COMMENTS	REVISIONS	DATE
INDIALNTIC, FDOT, COUNTY COMMENTS		02-16-2021
XX-XXXXXX		XX-XXXXXX

MBV ENGINEERING, INC.
MOA BOWEN VILLALBA & ASSOCIATES
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1250 W. EAU GALIE BLVD, SUITE H
MELBOURNE, FLORIDA 32935
P: 321-253-1510 FAX: 321-253-1511
ALSO WITH OFFICES IN:
VERO: 772-999-0035, FT PIERCE: 772-668-9056, PALM CITY: 772-468-9650

SITE PLAN

TIFFANY'S BEACHSIDE



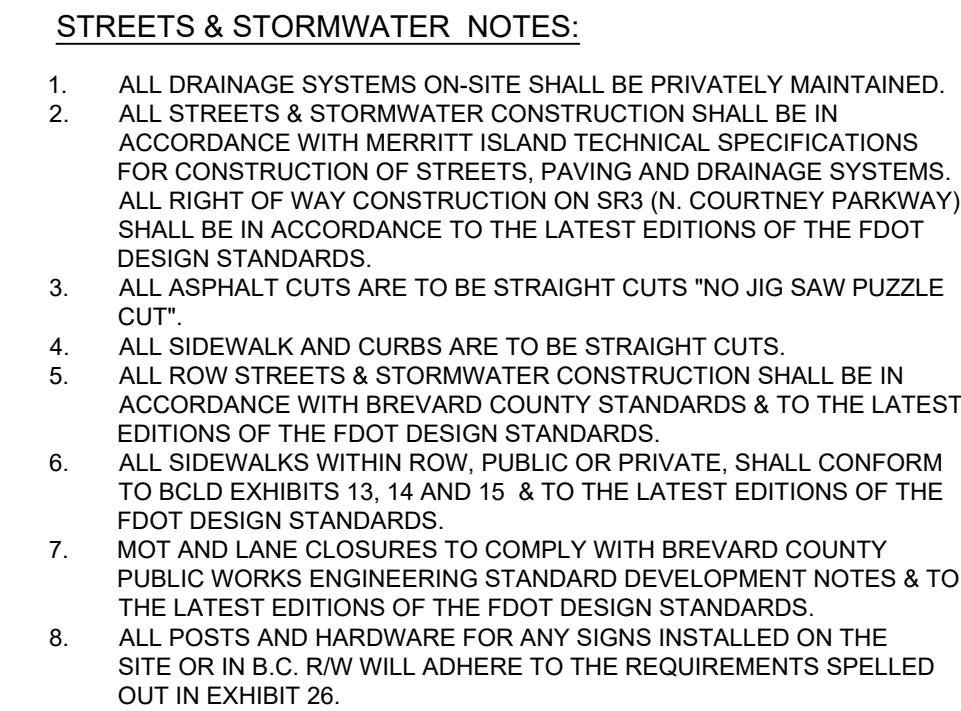
BRUCE A. MOIA
P.E. 847529
DATE: 4/20/2021

SHEET

C-05

20-1060

PRELIMINARY SET

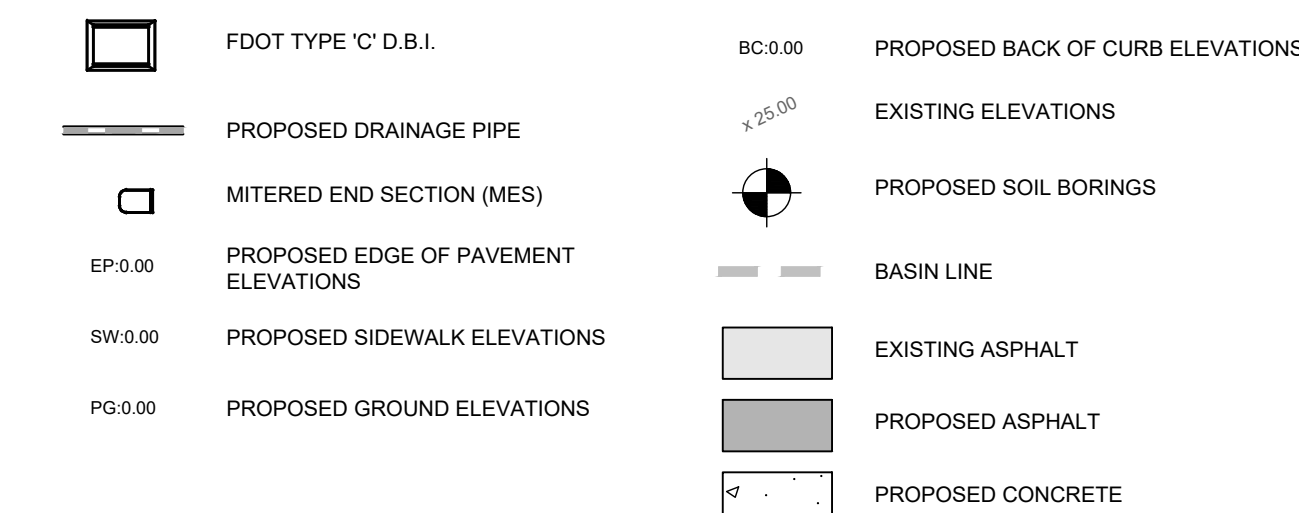


- ## DRAINAGE NOTES
1. ALL PIPE JOINTS SHALL BE WRAPPED WITH TYFAR WRAP AROUND EACH JOINT WITH A MINIMUM OVERLAP OF 12". SEE DETAIL SHEET C-11, PER DOT INDEX #280.
 2. PIPE LENGTHS SHOWN ARE CENTER TO CENTER OF STRUCTURES AND INCLUDE MINORED PIPE LENGTHS.
 3. SILT FENCES WILL BE INSTALLED PRIOR TO CONSTRUCTION. SEE DRAWING C-04 FOR EROSION AND SEDIMENTATION CONTROL AND SILT FENCE LOCATION.
 4. SEE DRAWING C-10 FOR TYPICAL PAVEMENT AND SIDEWALK SECTIONS.
 5. ANY DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE RESTORED TO A CONDITION EQUAL OR BETTER THAN EXISTING.
 6. ROOF DRAINS WILL TIE INTO STORMWATER SYSTEM.

FDOT GENERAL NOTES

1. ALL CONSTRUCTION IN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.
2. ALL STRIPING IN THE FDOT RIGHT-OF-WAY SHALL BE THERMOPLASTIC PER THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES], THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. ALL RAISED PAVEMENT MARKERS (RPM) INSTALLED WITHIN THE FDOT RIGHT-OF-WAY AND PROPOSED DRIVEWAY CONNECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES] AND THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. ALL EXCAVATIONS WITHIN TEN (10) FEET OF THE TRAVEL LANES AND GREATER THAN THREE (3) INCHES DEEP MUST BE FILLED IN OR HAVE A SHOULDER TREATMENT PLACED AT THE DROP-OFF PER THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES] AT THE END OF THE WORK DAY.
5. ALL DISTURBED UNPAVED AREA WITHIN FDOT RIGHT OF WAY SHALL BE SODDED.
6. ALL CONCRETE JOINT CONNECTIONS BETWEEN OLD AND NEW CONCRETE SHALL HAVE A 3" EXPANSION JOINT AND PERFORMED JOINT FILTER PER THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS [INDEXES].
7. ALL AFFECTED SIDEWALKS, RAMPS AND CROWSWALKS, WILL BE BUILT AND INSPECTED TO MEET ADA REQUIREMENTS.
8. NOTIFY FDOT 48 HRS. IN ADVANCE OF STARTING PROPOSED WORK BY WORK INITIATED TAB IN ONE STOP PERMITTING.
9. PRIOR TO THE UTILITY WORK CONTRACTOR TO PROVIDE NOT MORE THAN SIX (6) PHOTOGRAPHS DOCUMENTING WORK AREA CONDITIONS.

LEGEND

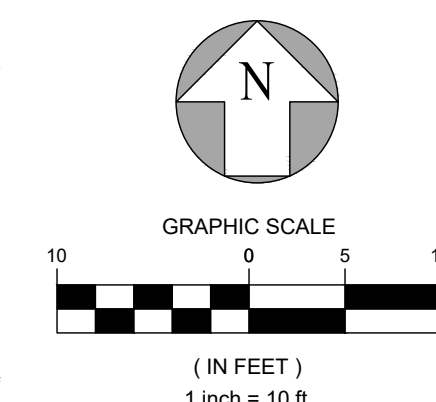
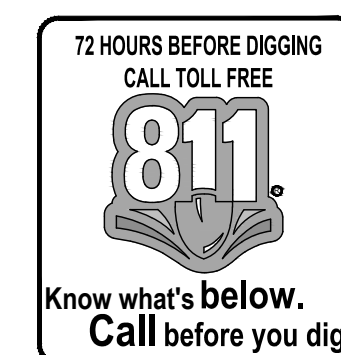


SOIL TEST SUMMARY

TEST	GRADE ELEV.	SHWL	NWL
B-1	13.85	8.10	9.10

TEST	HORIZONTAL FLOW RATE	VERTICAL FLOW RATE
B-1	23.60 FT/DAY	30.20 FT/DAY

REFER TO REPORTS PREPARED BY
UNIVERSAL ENGINEERING SCIENCE
DATED 9/01/20 AND 12/29/20 FOR
ADDITIONAL INFORMATION.

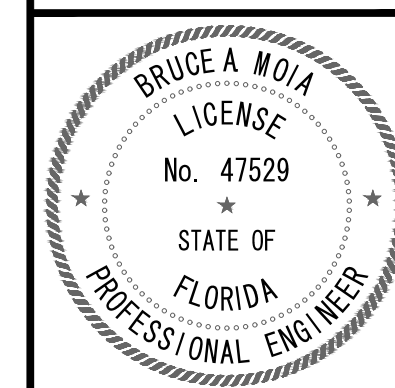


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E: INFO@MBV-INC.COM OFFICE: 1000 N. HWY. 7
772-660-0036 ST. PETERSBURG 33712-4688

PAVING, GRADING, AND
DRAINAGE PLAN

TIFFANY'S BEACHSIDE



BRUCE A. MOIA
FL. P.E. #47529

DAT
4/20/20

SHEET

SHEET

C-06

20-1060

PRELIMINARY SET

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DRAWN BY: J. B. BROWN

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, REUSE MAINS, SANITARY SEWER, STORM MAINS AND OTHER UTILITIES AND MAINTAIN MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS AND SPECIFICATIONS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODE AND/OR UTILITY SERVICE PROVIDER COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING PROCESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS AND EXIT PORCH LOCATIONS.
- REFER TO WATER AND SEWER SEPARATION NOTES ON THIS SHEET FOR PROTECTION OF POTABLE WATER.
- THE GENERAL CONTRACTOR MUST SUBMIT THE AS-BUILT DRAWINGS, PREPARED BY A SURVEYOR LICENSED TO PRACTICE IN THE STATE OF FLORIDA, TO THE CITY OF MELBOURNE AND BREVARD COUNTY UTILITIES DEPARTMENT FOR APPROVAL PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF CERTIFICATION OF OCCUPANCY.
- NO UTILITY LATERALS, METER BOXES, VALVES, ETC. SHALL BE LOCATED IN PROPOSED SIDEWALK AREAS.
- SITE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING WATER AND SEWER SERVICES WITHIN 5 FEET OF BUILDING UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST INLET/STRUCTURE OR CONNECTION LOCATION AS REQUIRED TO ENSURE PROPOSED STRUCTURES AND PIPES ARE IN PROPER ALIGNMENT AND MATCH SLOPE OF EXISTING PIPES OR CONNECTIONS.
- ALL WATER LINE CONSTRUCTION SHALL CONFORM WITH THE CITY OF MELBOURNE SPECIFICATIONS FOR THE CONSTRUCTION OF WATER DISTRIBUTION SYSTEMS DATED JULY 2016.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL SEWER CONSTRUCTION SHALL CONFORM TO THE CRITERIA FOR WATER AND SANITARY SEWERAGE SYSTEMS WITHIN BREVARD COUNTY, LATEST EDITION.

FIRE FLOW CALCULATIONS (NFPA)

BUILDING DESCRIPTION	FLOOR AREA (Sq. Ft.)	FIRE FLOW (TABLE 18.4.5.1.2)	EXPOSURE %	INITIAL FIRE FLOW SUBTOTAL (GPM)	FIRE SPRINKLER DECREASE (75%)	TOTAL MINIMUM FLOW (GPM)	HYDRANTS REQUIRED	NOTES
NAIL SALON & RESTAURANT	3,470	1,500	---	1,500	---	1,500	2	*

* INCLUDES ONE PROPOSED FIRE HYDRANT ON-SITE AND ONE EXISTING FIRE HYDRANT WITHIN 500' OF THE FURTHER BUILDING CORNER.

CONSTRUCTION TYPE: TYPE II-B

HAZARD CLASSIFICATION: ORDINARY (2 HOUR DURATION)

STRUCTURE OCCUPANCY: NAIL SALON/RESTAURANT BUILDING IN ACCORDANCE WITH NFPA 1, SECTION 3.3.183 OCCUPANCY (2015 EDITION)

FIRE PREVENTION NOTES

- FIRE DEPARTMENT ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FT 6 IN. (4.1 M). (FFPC 1-18-2.3.4.1.2)
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (46 M) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. (FFPC 1-18-2.3.2.2)

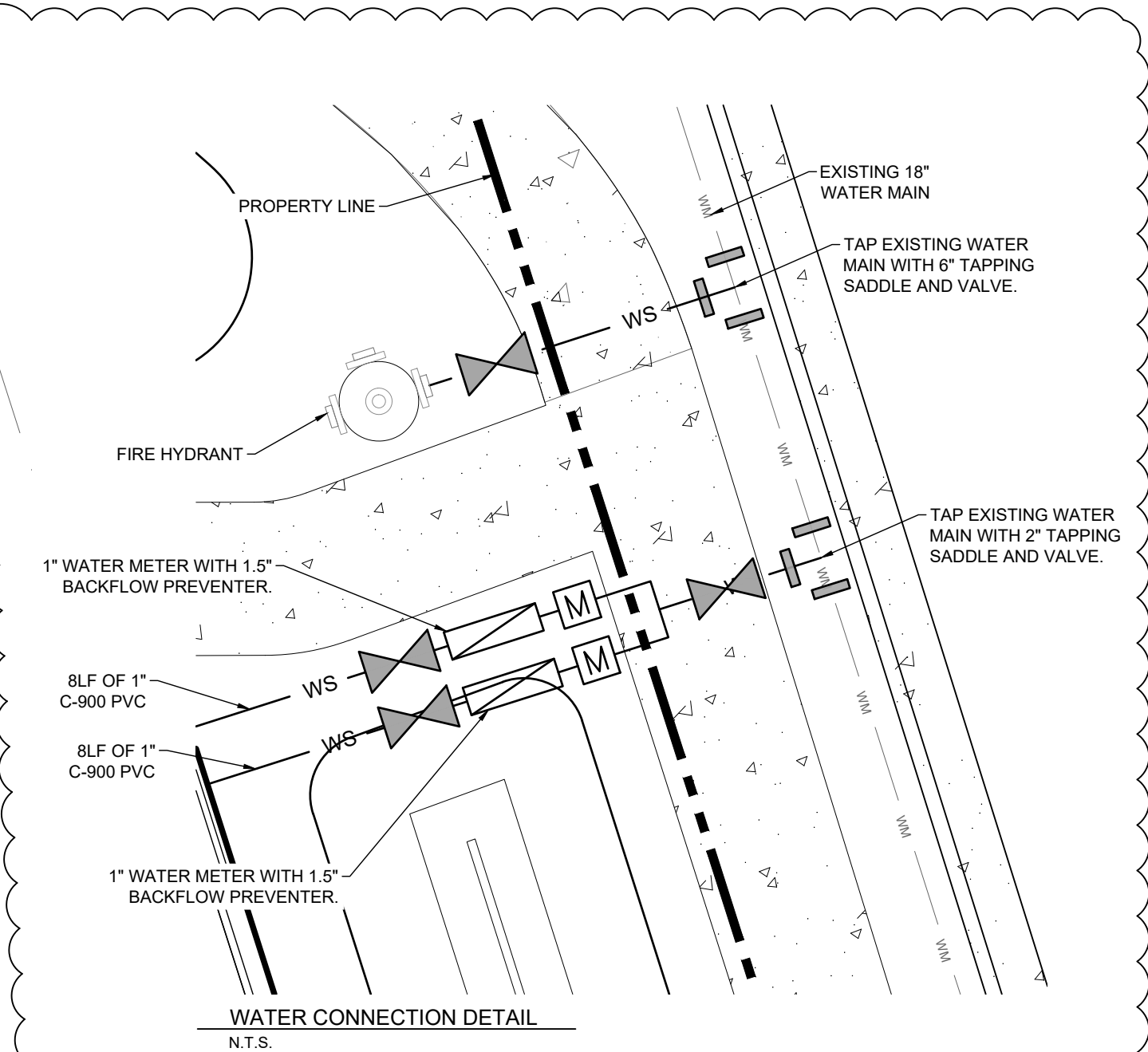
UTILITY NOTES

- ALL UTILITIES ON-SITE TO PROPOSED BUILDING ARE NEW WITH PROPOSED UTILITY CONNECTIONS.
- CONTRACTOR TO FIELD VERIFY EXISTING UTILITIES AND PROTECT THEM DURING CONSTRUCTION.
- GREASE INTERCEPTOR IS SHOWN FOR REFERENCE ONLY. GREASE INTERCEPTOR SIZING CALCULATIONS AND SHOP DRAWINGS ARE TO BE SUBMITTED AS PART OF THE BUILDING PERMIT APPLICATION.

SANITARY STRUCTURE TABLE		
STRUCTURE I.D.	DESCRIPTION	DATA
EXMH-01	MANHOLE	RM: 12.93 [Pipe - (4) 8" W 8" INV: 3.28 [Pipe - (2) 8" W 8" INV: 3.30]
EXMH-02	MANHOLE	RM: 13.23 [Pipe - (4) 11" E 8" INV: 2.89 [Pipe - (1) 8" W 8" INV: 2.96 [Pipe - (2) 8" NE 8" INV: 3.63 [Pipe - (2) 8" S 8" INV: 3.58]
SSCO-02	CLEANOUT	RM: 13.38 [SS-02] 8" W 8" INV: 9.43 [SS-01] 8" W 8" INV: 9.43
SSCO-03	CLEANOUT	RM: 10.51 [SS-03] 8" W 8" INV: 9.66 [SS-02] 8" W 8" INV: 9.66
SSCO-04	CLEANOUT	RM: 13.57 [SS-04] 8" W 8" INV: 10.22 [SS-03] 8" W 8" INV: 10.22
SSCO-05	CLEANOUT	RM: 14.00 [SS-05] 8" W 8" INV: 10.51 [SS-04] 8" W 8" INV: 10.51 [SS-04] 8" W 8" INV: 10.51
SSCO-06	CLEANOUT	RM: 14.00 [SS-06] 8" W 8" INV: 10.53
SSCO-07	CLEANOUT	RM: 13.95 [SS-07] 8" W 8" INV: 10.53
SSCO-08	CLEANOUT	RM: 14.00 [SS-07] 8" W 8" INV: 10.64 [SS-06] 8" W 8" INV: 10.64
SSCO-09	CLEANOUT	RM: 14.43 [SS-07] 8" W 8" INV: 10.71
SSCO-10	CLEANOUT	RM: 14.05 [SS-10] 8" W 8" INV: 10.54 [SS-09] 8" W 8" INV: 10.54 [SS-08] 8" W 8" INV: 10.53
SSCO-11	CLEANOUT	RM: 14.28 [SS-09] 8" W 8" INV: 10.58
SSCO-12	CLEANOUT	RM: 14.00 [SS-11] 8" W 8" INV: 10.64 [SS-10] 8" W 8" INV: 10.64
SSCO-13	CLEANOUT	RM: 14.43 [SS-11] 8" W 8" INV: 10.68

PIPE TABLE				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
SS-01	6"	9'	1.00%	SDR 35 PVC
SS-02	6"	23'	1.00%	SDR 35 PVC
SS-03	6"	56'	1.00%	SDR 35 PVC
SS-04	6"	29'	1.00%	SDR 35 PVC
SS-05	4"	3'	1.00%	SDR 35 PVC
SS-06	4"	11'	1.00%	SDR 35 PVC
SS-07	4"	7'	1.00%	SDR 35 PVC
SS-08	4"	3'	1.00%	SDR 35 PVC
SS-09	4"	4'	1.00%	SDR 35 PVC
SS-10	4"	10'	1.00%	SDR 35 PVC
SS-11	4"	4'	1.00%	SDR 35 PVC

NOTES:
SHORING SHALL BE PROVIDED TO PROTECT THE INTEGRITY OF THE ROADWAY WHEN CONNECTING TO FIRE LINE. NO OPEN ROADWAY CUT IS PROPOSED. SEE LANE CLOSURE RESTRICTIONS ON SHEET C-09.
CONTRACTOR TO VERIFY UTILITY CONFLICTS AND EXACT LOCATION OF EXISTING WATER MAIN.



20-1060

DESIGNED TAC

DRAWN AFR

DATE 10-22-2020

CHECKED BAM

DATE ISSUED 4/20/2021

8

7

6

5

4

3

2

INDIAN LANTIC, FDOT, COUNTY COMMENTS

COMMENTS

REVISIONS

DATE

MBV ENGINEERING, INC.

MOA BOWEN VILLANAR & ASSOCIATES

CIVIL • STRUCTURAL • SURVEYING • ENVIRONMENTAL

1250 W. EAU GALIE BLVD. SUITE H

MELBOURNE, FLORIDA 32935

P.O. BOX 10000

ALSO WITH OFFICES IN:

VERO 772-999-0035, FT. PIERCE 772-688-9056, PALM CITY 772-458-9650

UTILITY PLAN

FLORIDA

TIFFANY'S BEACHSIDE

TOWN OF INDIAN LANTIC

BRUCE A. MOIA

FL. P.E. #47529

STATE OF FLORIDA

PROFESSIONAL ENGINEER

DATE 4/20/2021

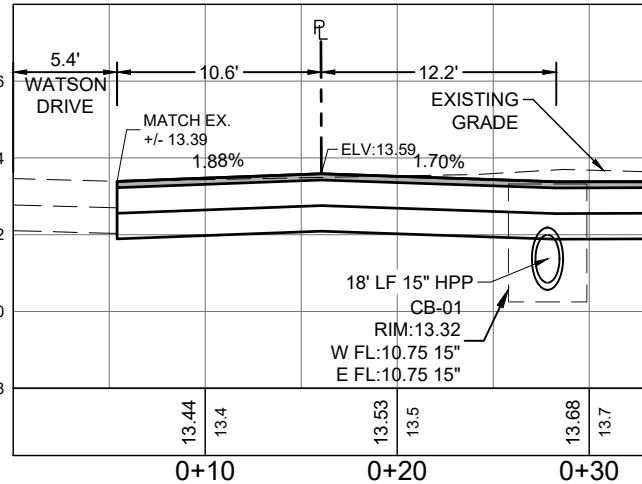
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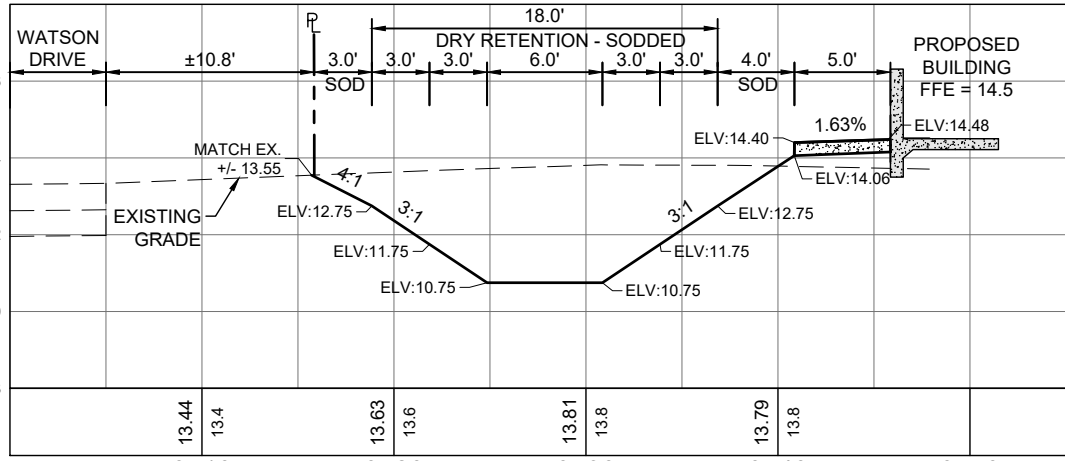
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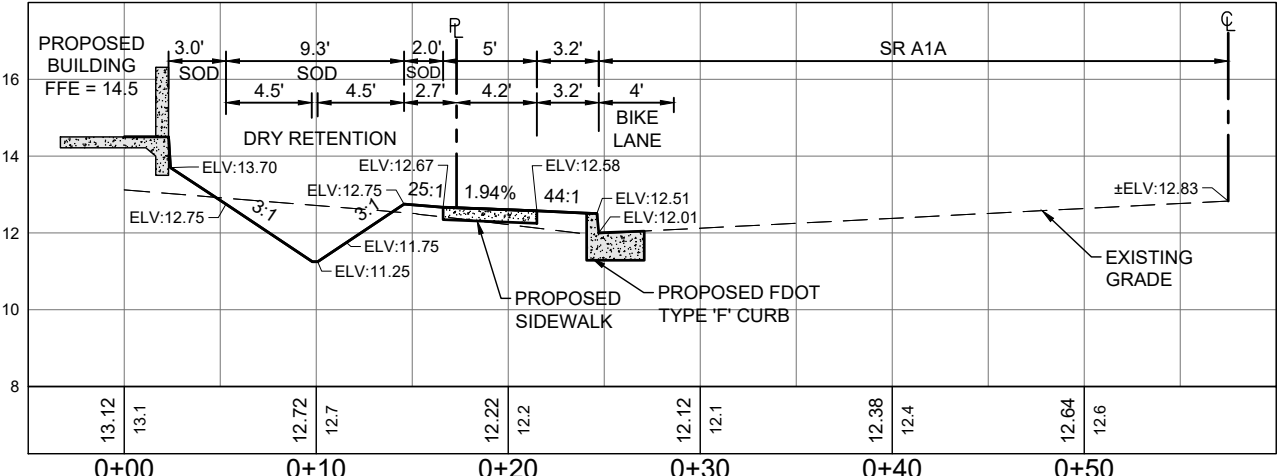
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AUTOCAD 2010



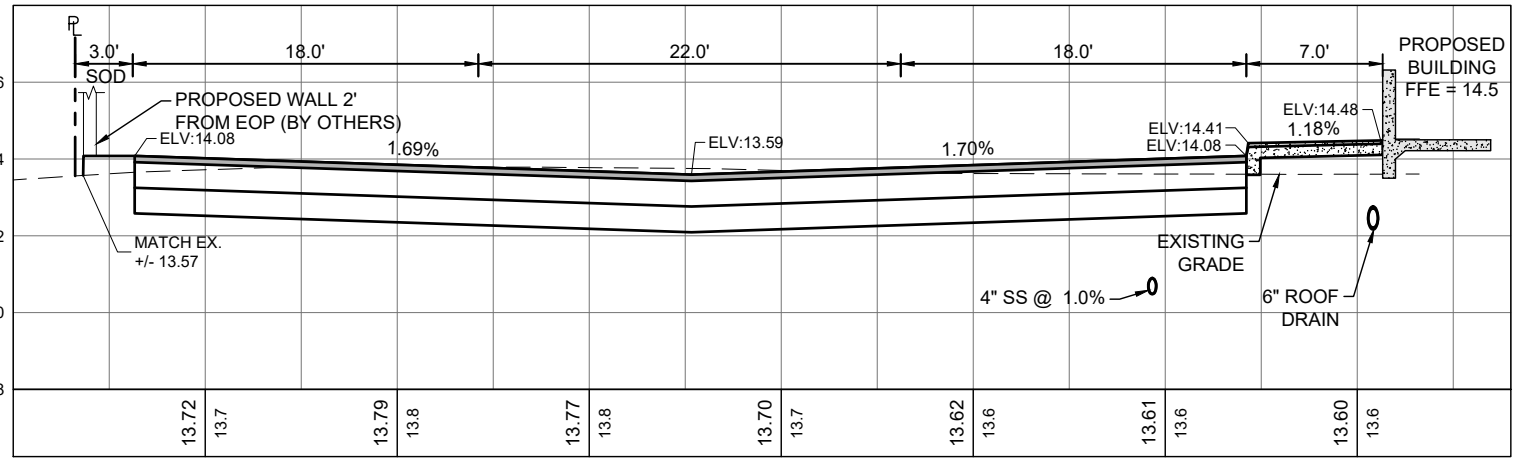
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V: 1"=5'



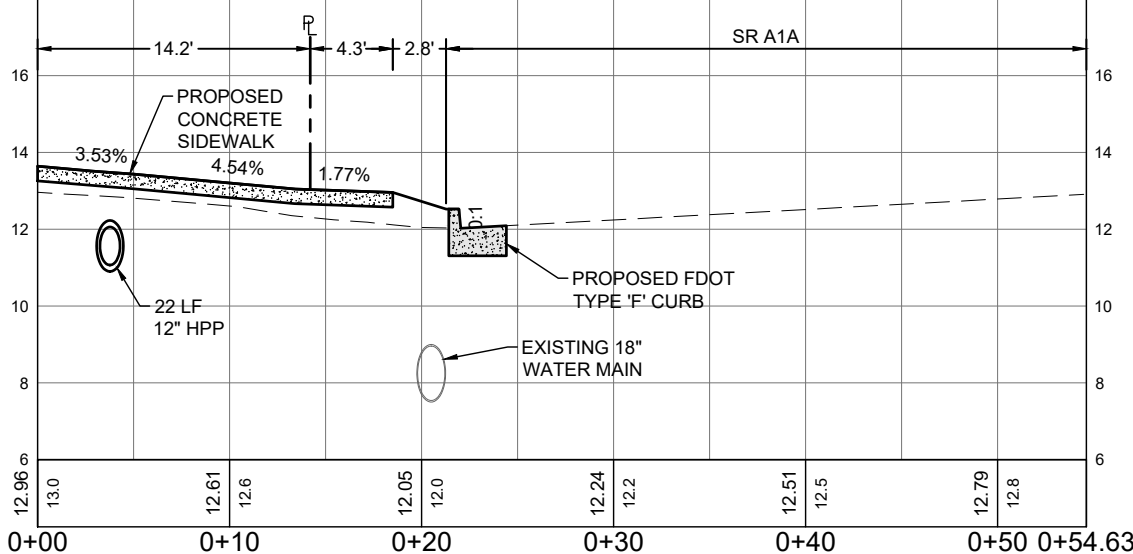
SECTION B
H: 1"=10'
V: 1"=5'



SECTION C
H: 1"=10'
V: 1"=5'



SECTION D
H: 1"=10'
V: 1"=5'



SECTION E
H: 1"=10'
V: 1"=5'

20-1060		TAC		AFR		10-22-2020		BAM		INDIANLANTIC, FDOT, COUNTY COMMENTS		02-16-2021	
DESIGNED		DRAWN		DATE		CHECKED		DATE ISSUED		COMMENTS		XX-XXXXXX	
JOB NO.		DESIGNED		DRAWN		DATE		CHECKED		DATE ISSUED		COMMENTS	
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XX-XXXXXX		DATE		DATE		DATE		DATE		DATE		DATE	
DATE		DATE		DATE		DATE		DATE		DATE		DATE	

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P.O. BOX 10000, MELBOURNE, FLORIDA 32901

VERO 772-999-0035, FT PIERCE 772-468-5056, PALM CITY 772-468-9650

SECTION

TIFFANY'S BEACHSIDE

FLORIDA

BRUCE A. MOIA

LICENSE

No. 47529

STATE OF

FLORIDA

PROFESSIONAL ENGINEER

BRUCE A. MOIA
P.E. 847529

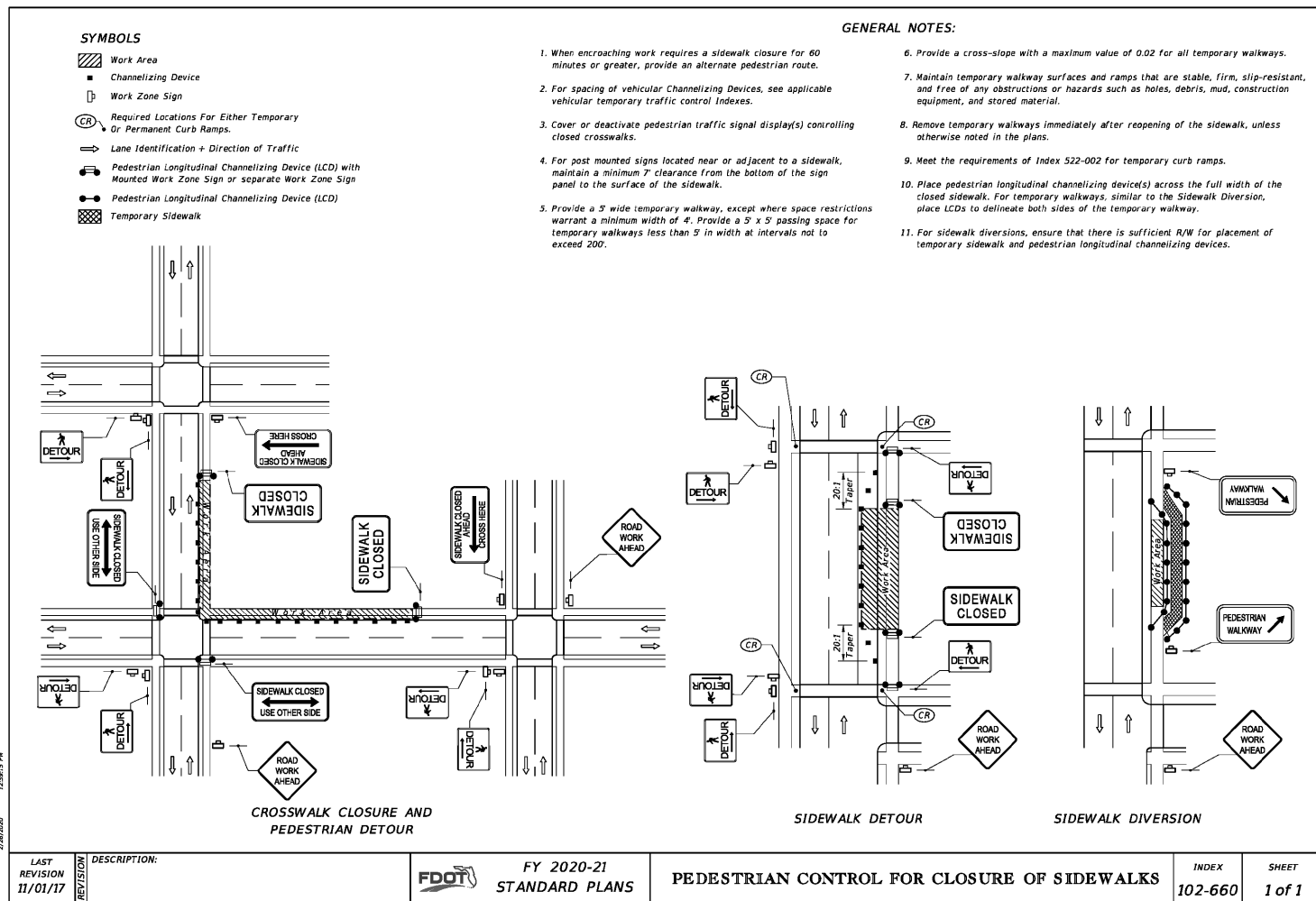
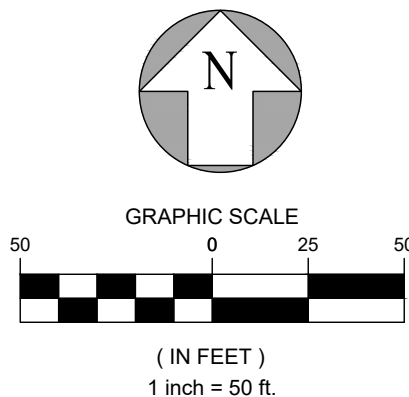
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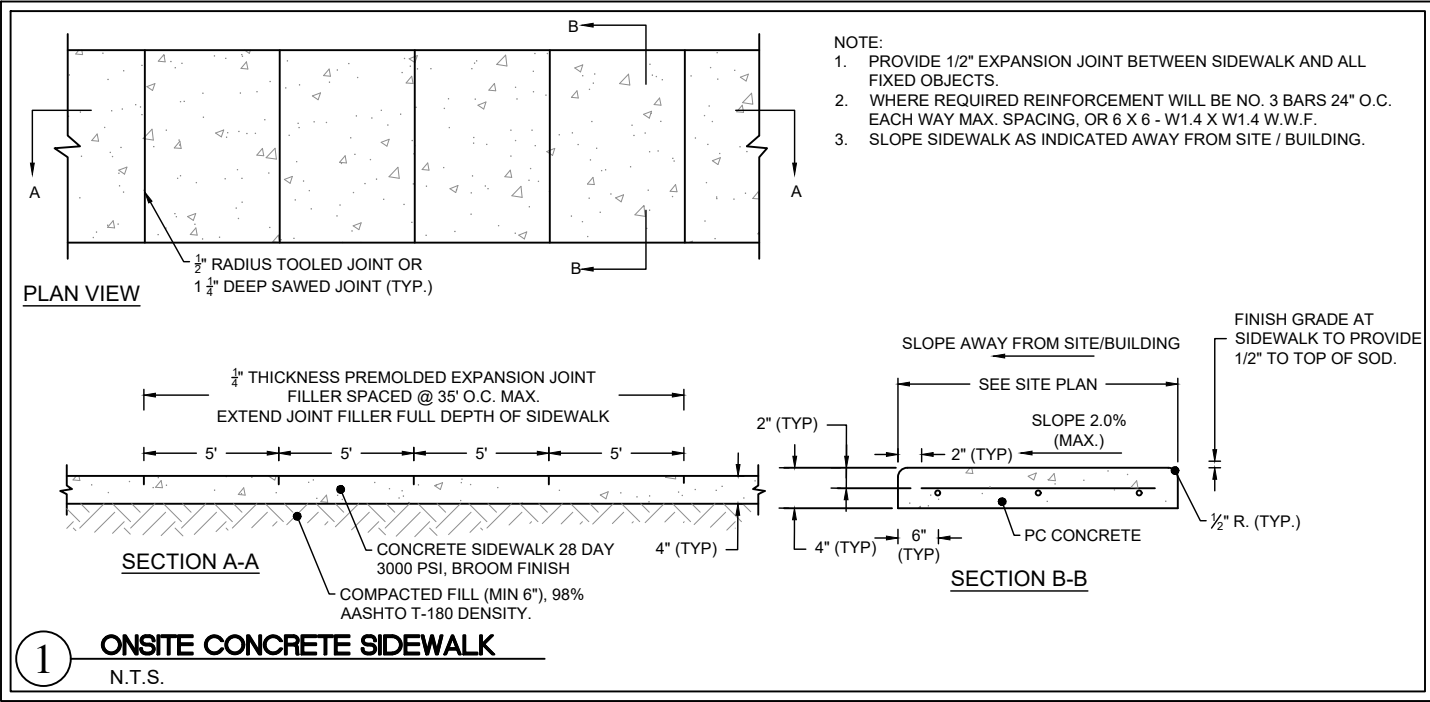
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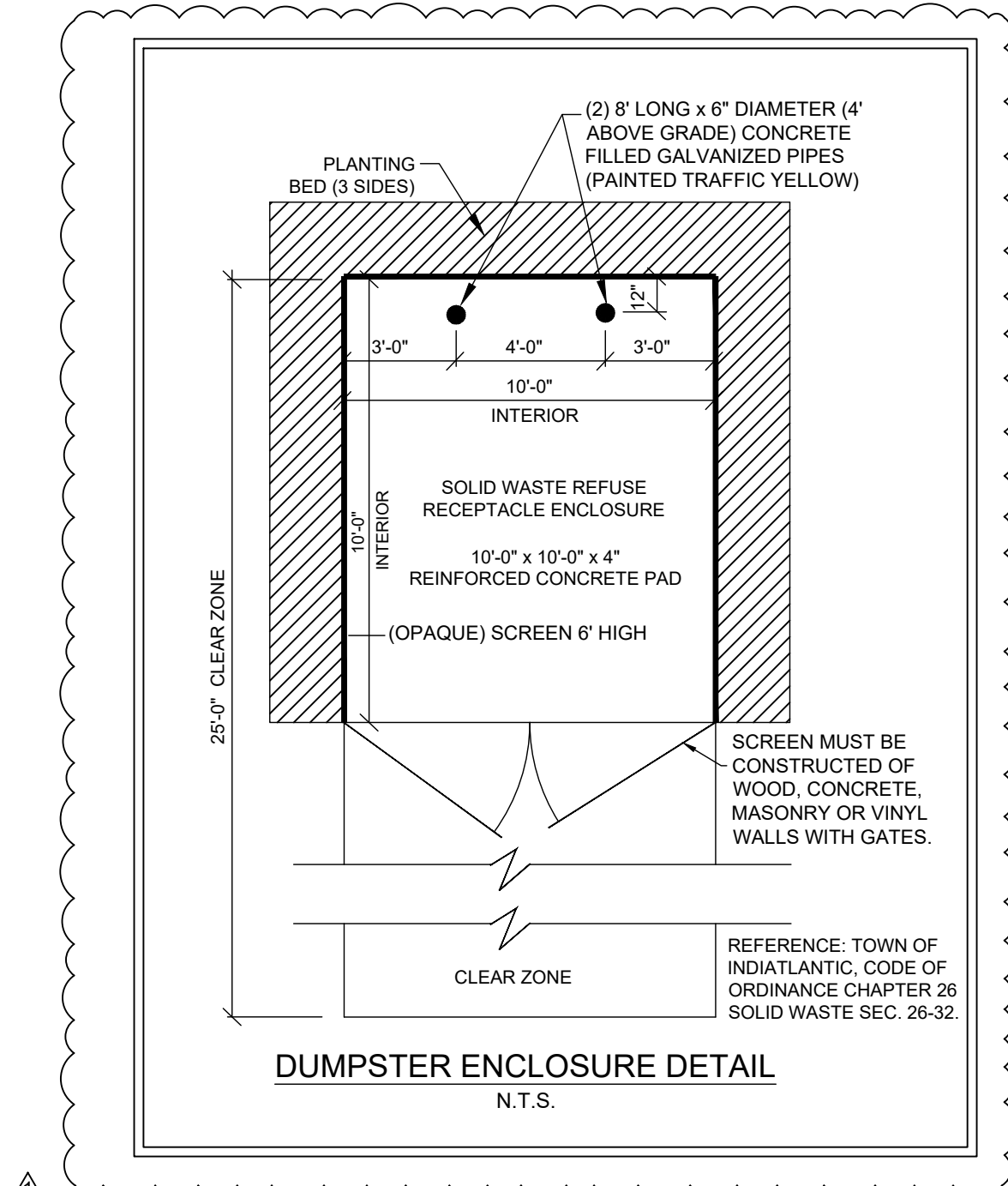
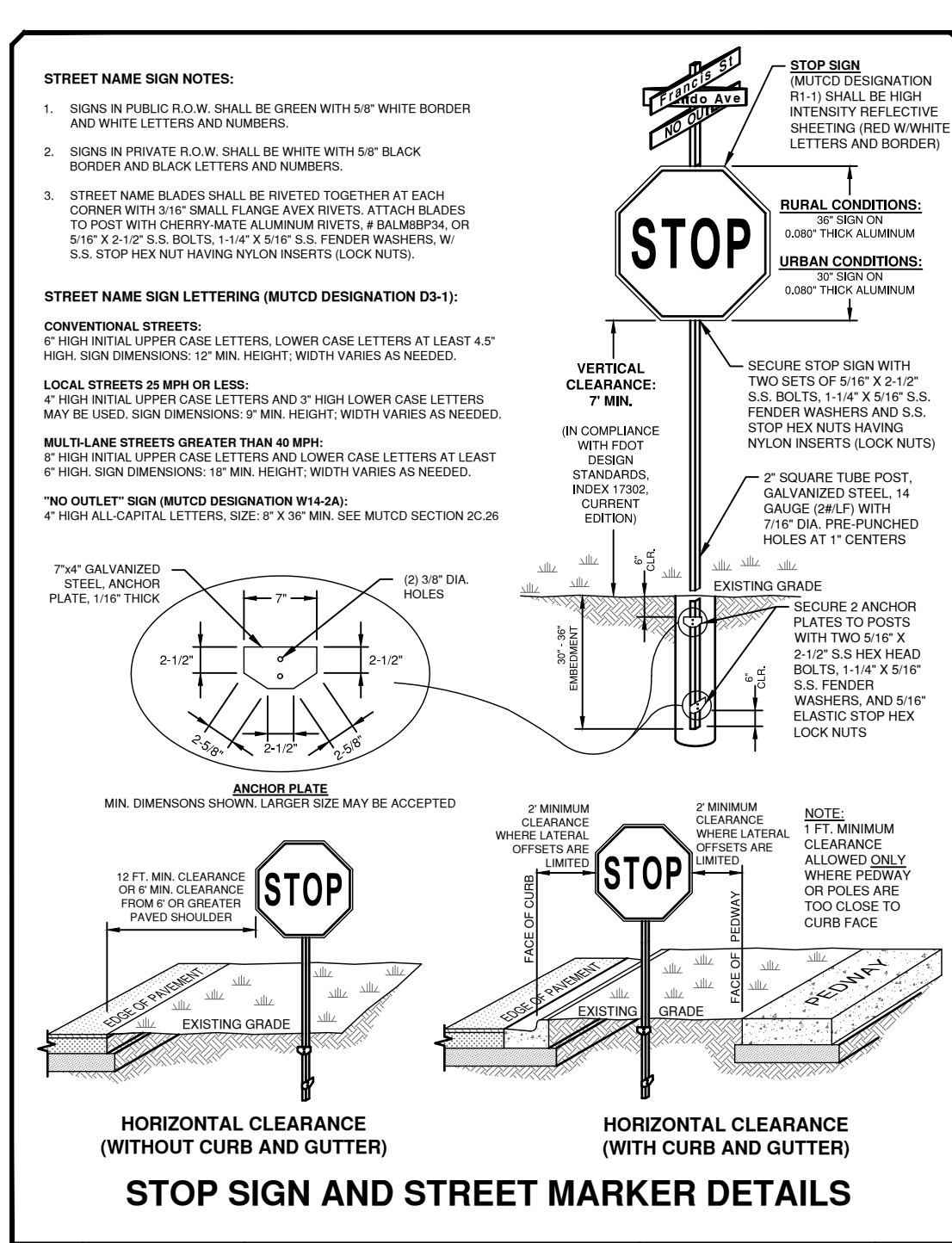
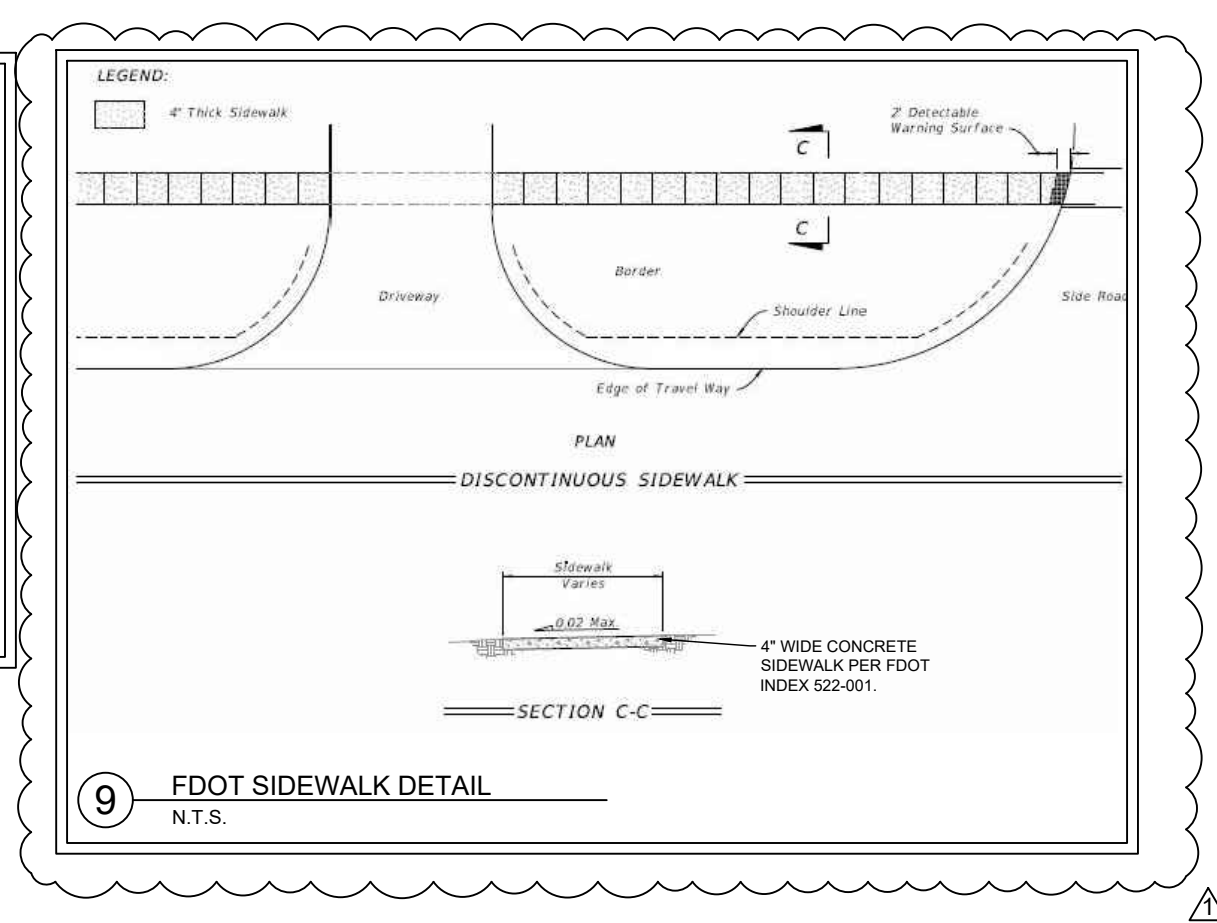
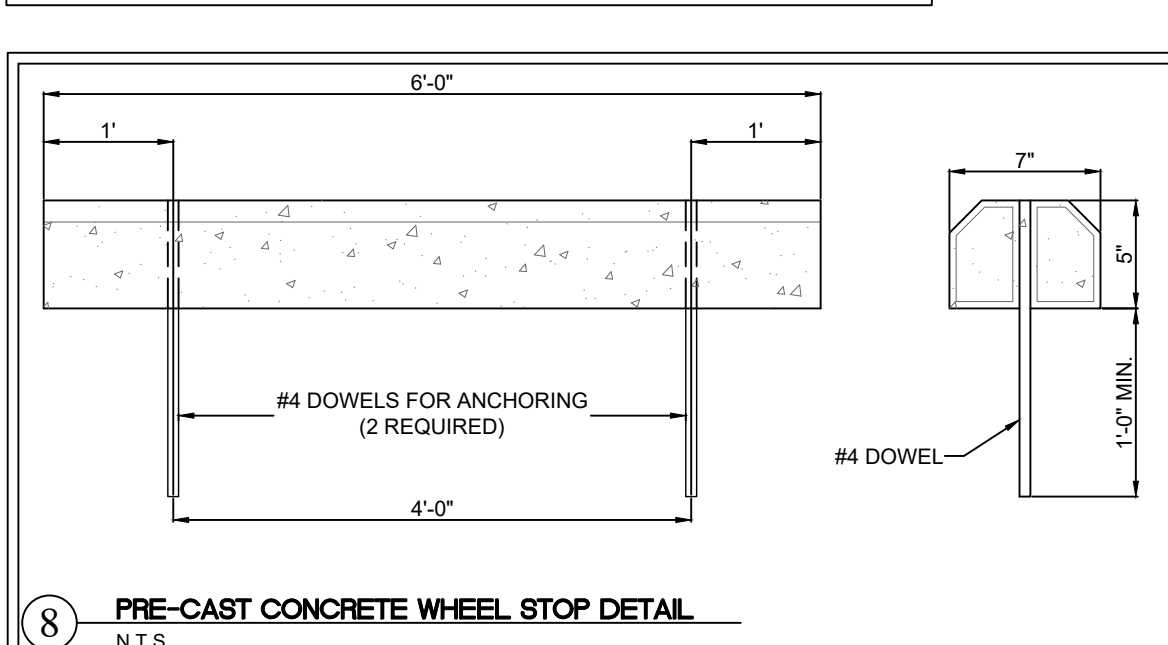
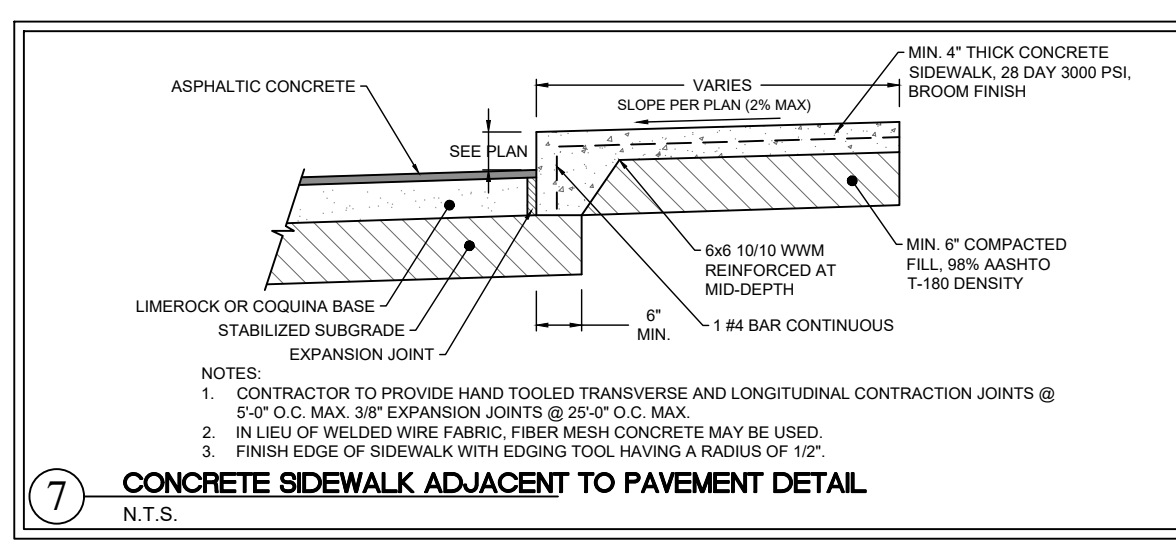
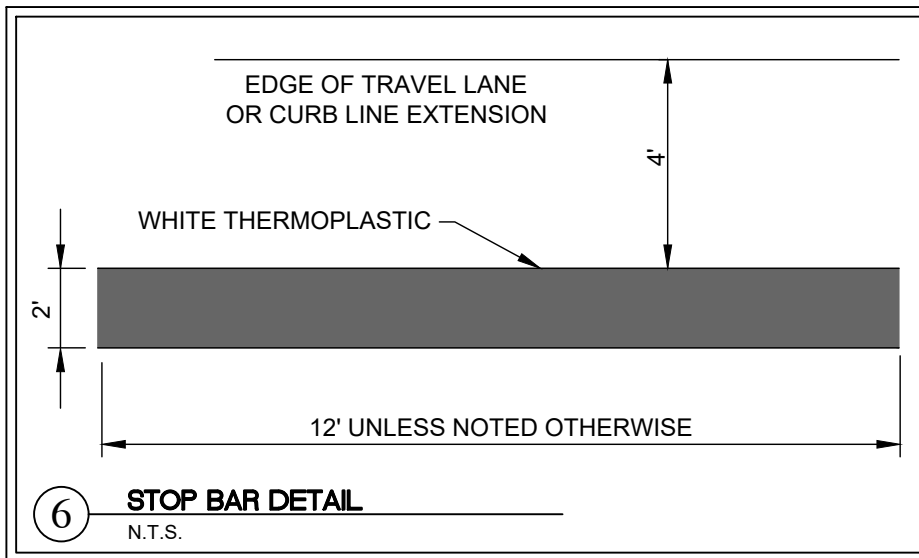
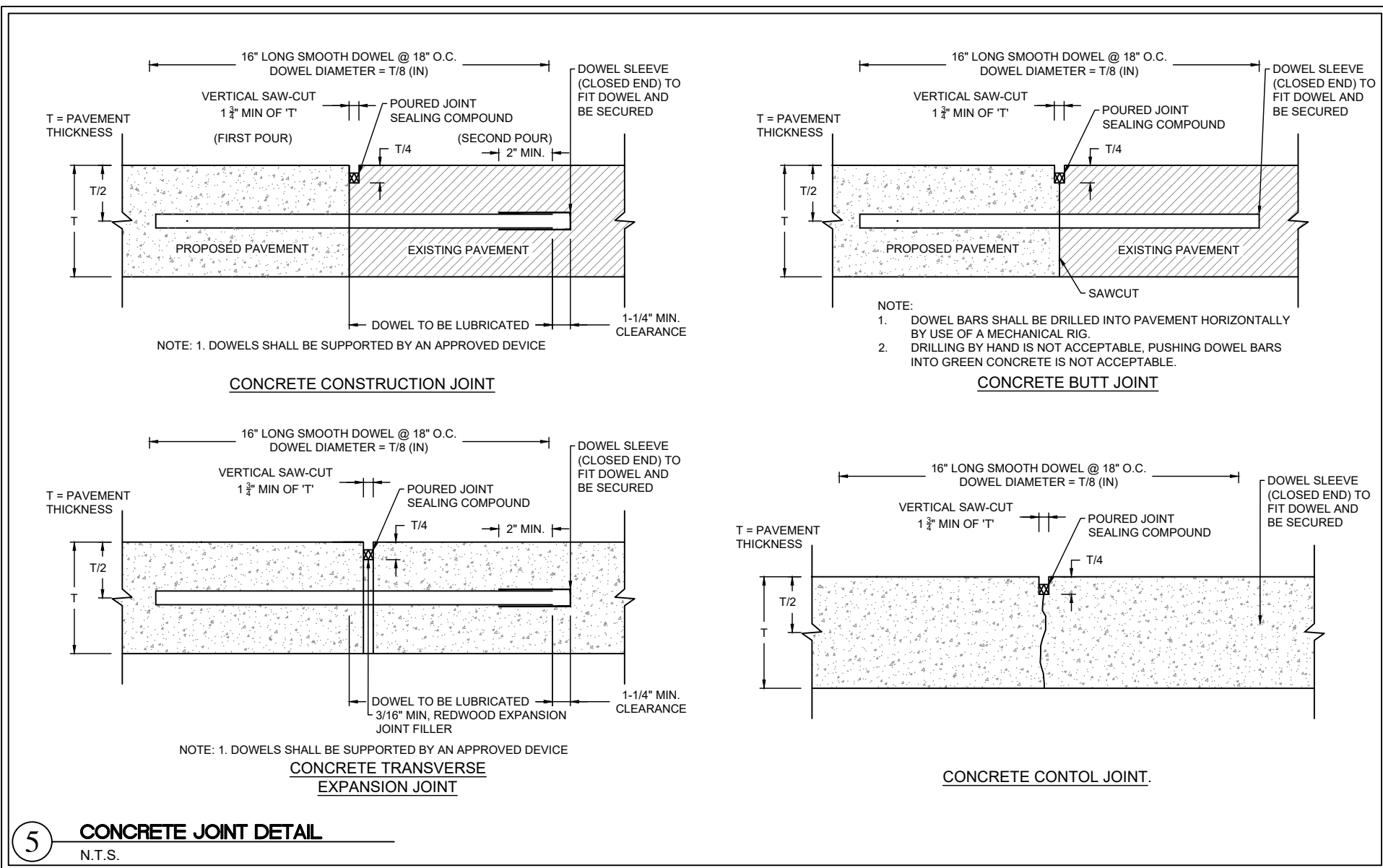
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AUTOCAD 2010



* SEE FDOT FDOT SIDEWALK DETAIL ON THIS SHEET FOR RIGHT-OF-WAY CONSTRUCTION ALONG SR A1A.



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MOA BOWLES VILLALBAZ & ASSOCIATES
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MELBOURNE, FLORIDA 32935
P: 321-251-1111
F: 321-251-1111
WWW.MBV-ENGINEERING.COM
VE00-772-999-0035, 11 PIERCE 772-999-9056, PALM CITY 772-498-9950

GENERAL DETAILS

TIFFANY'S BEACHSIDE

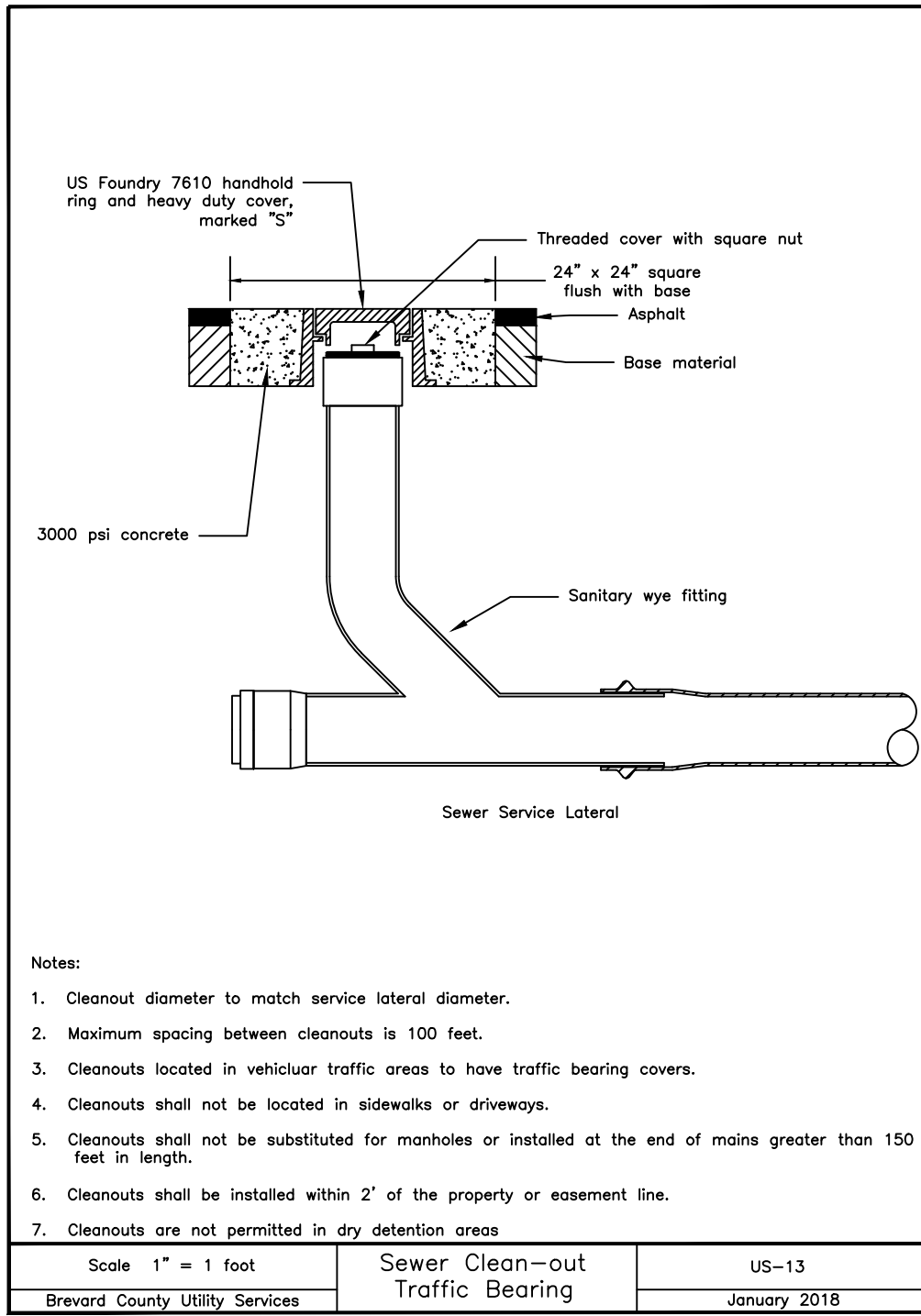
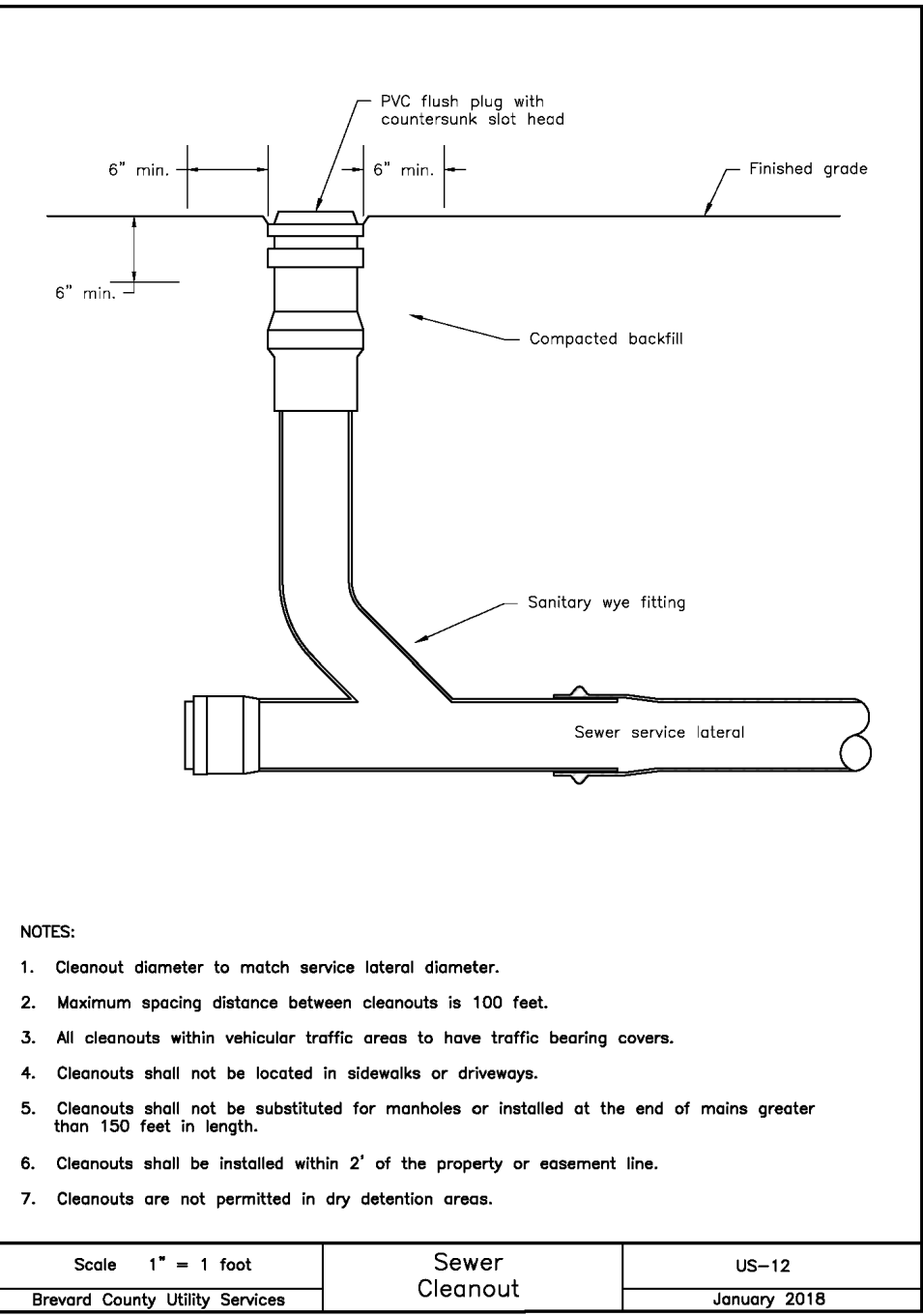
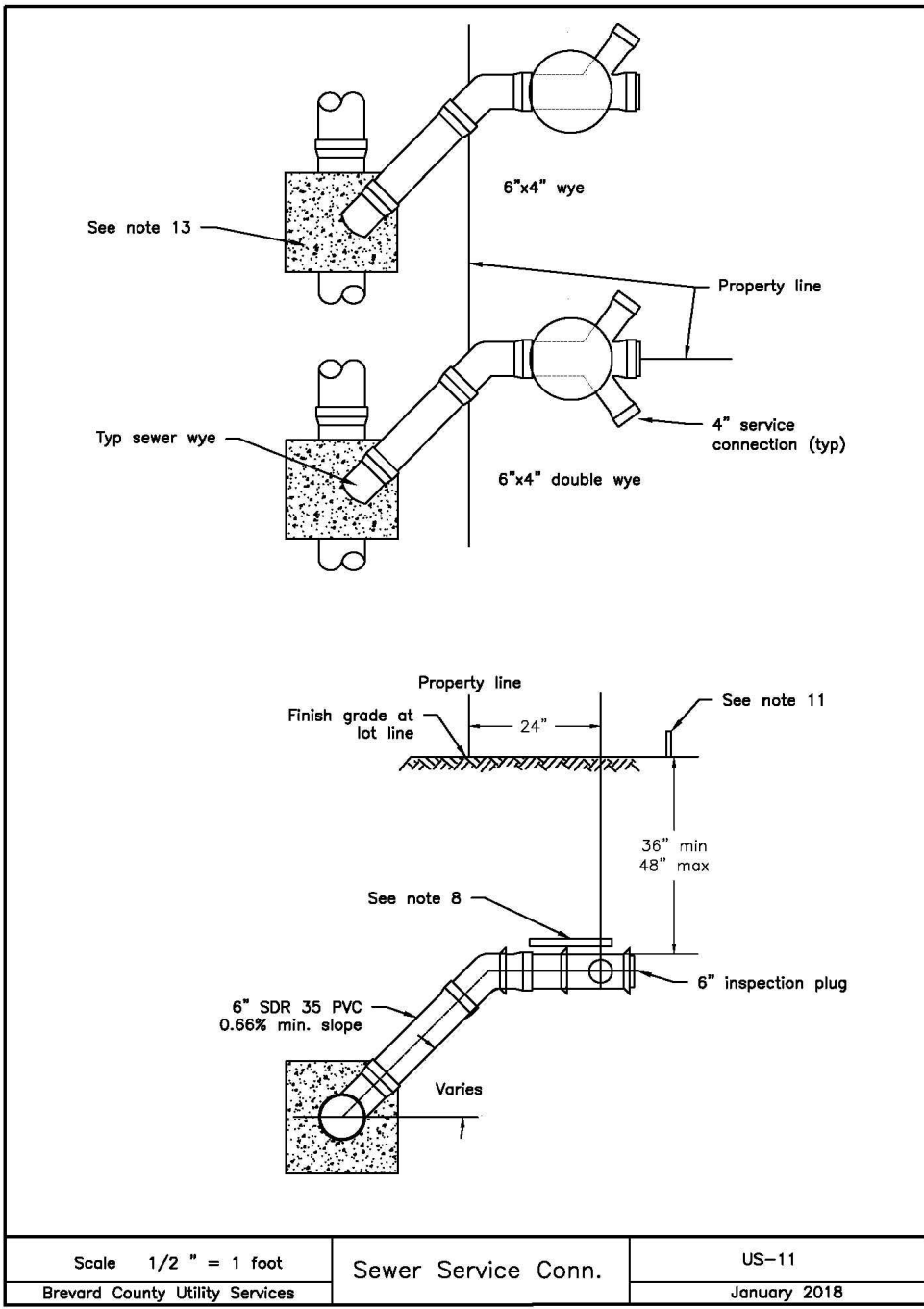
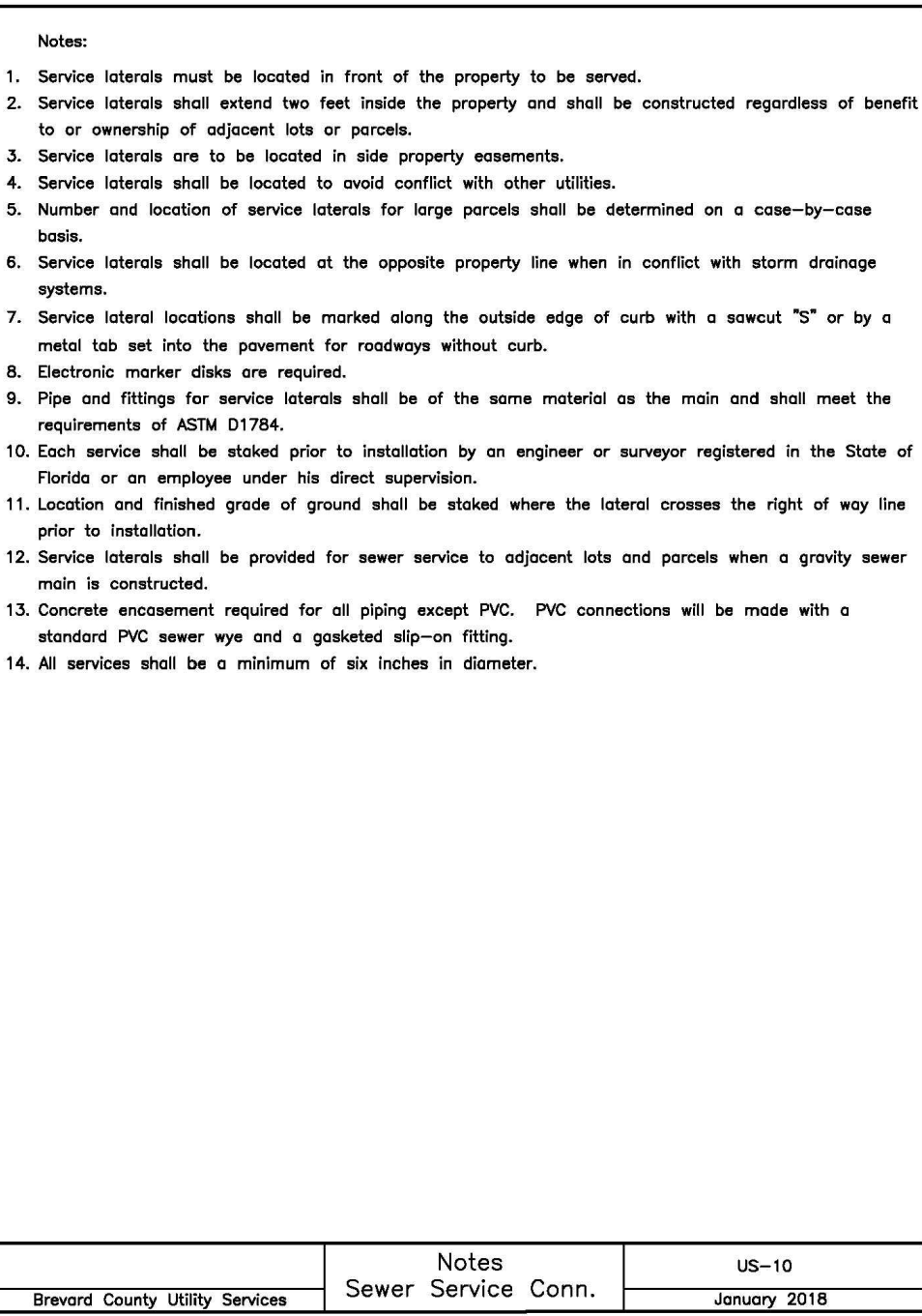
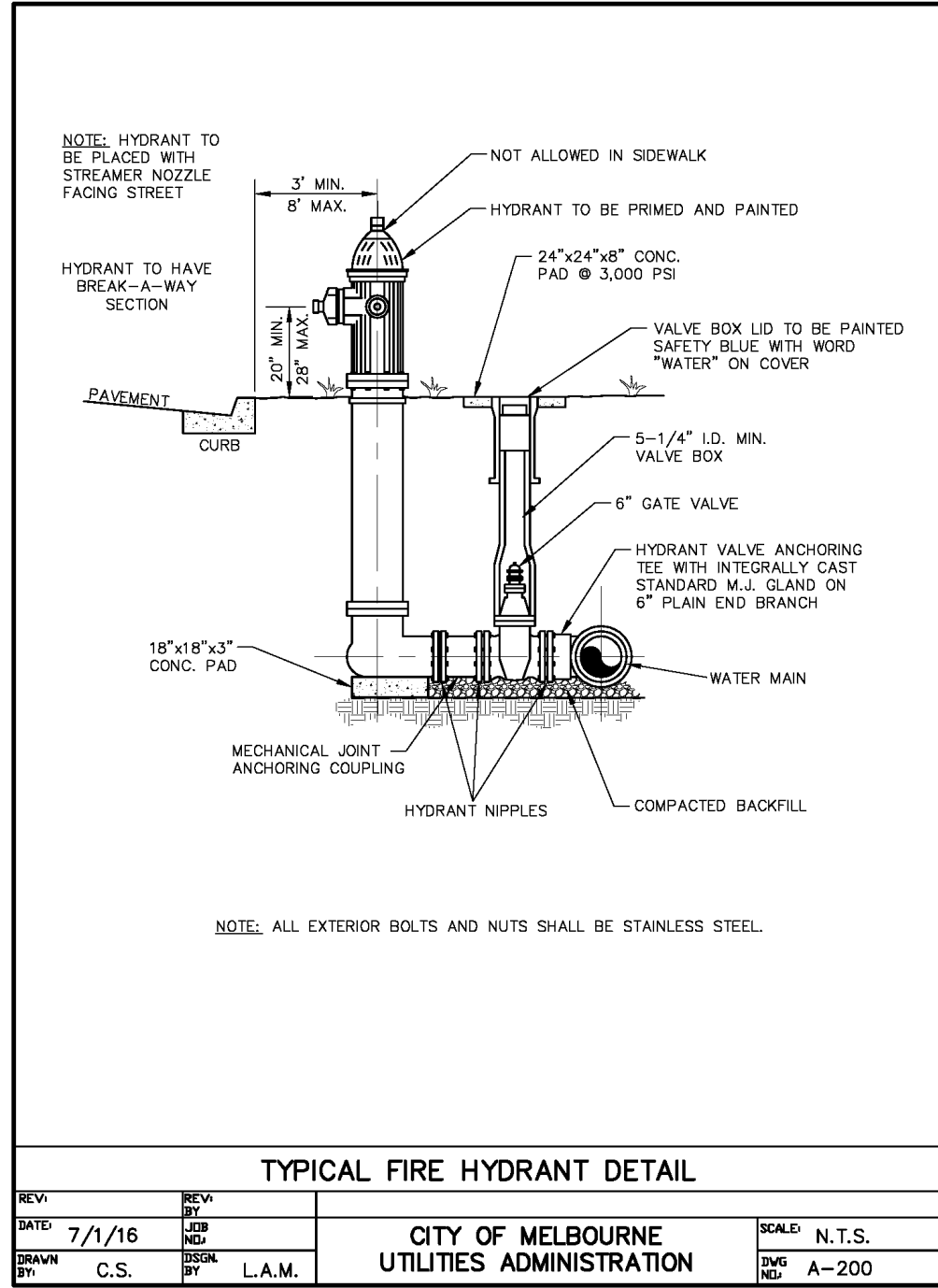
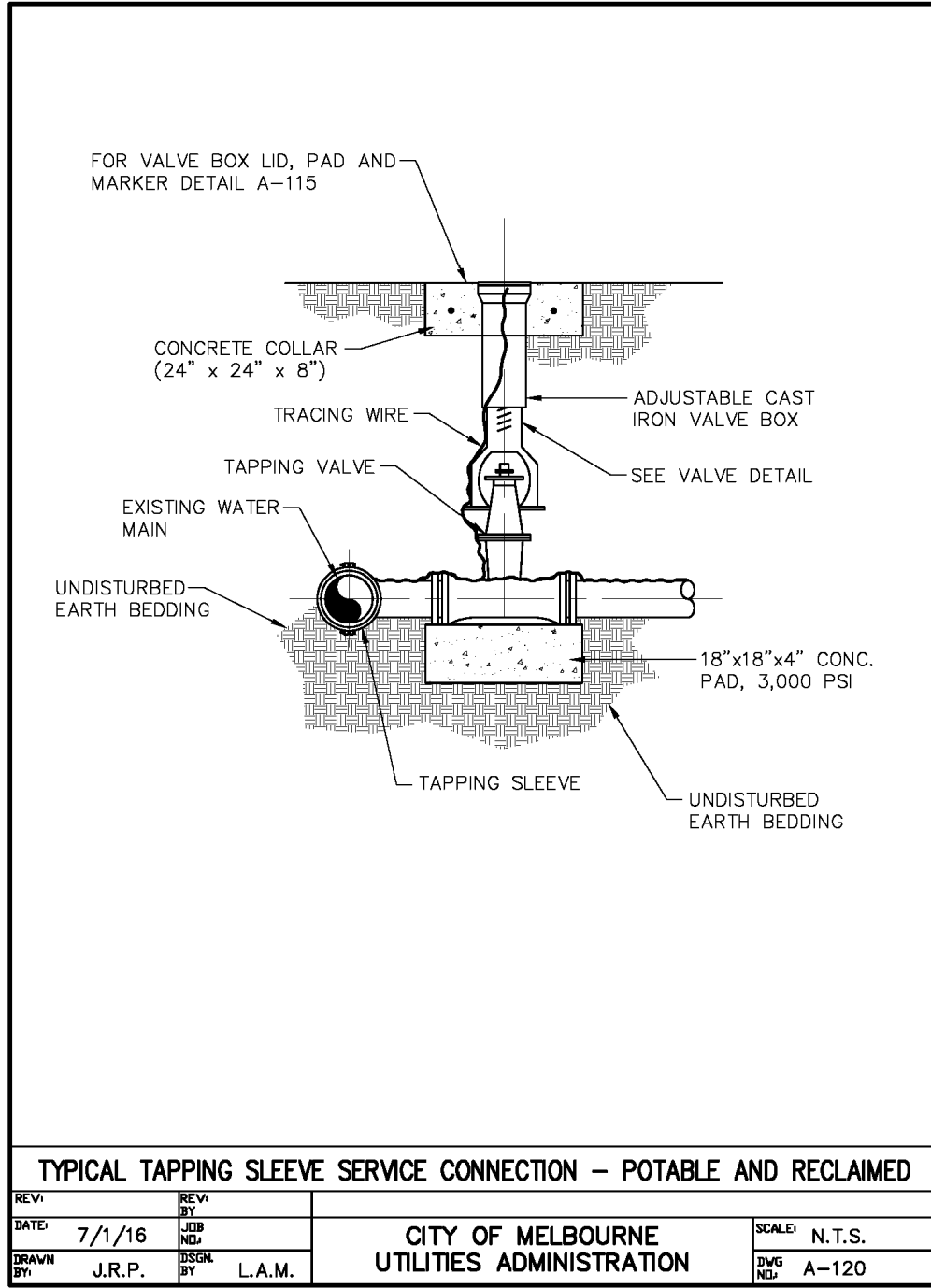
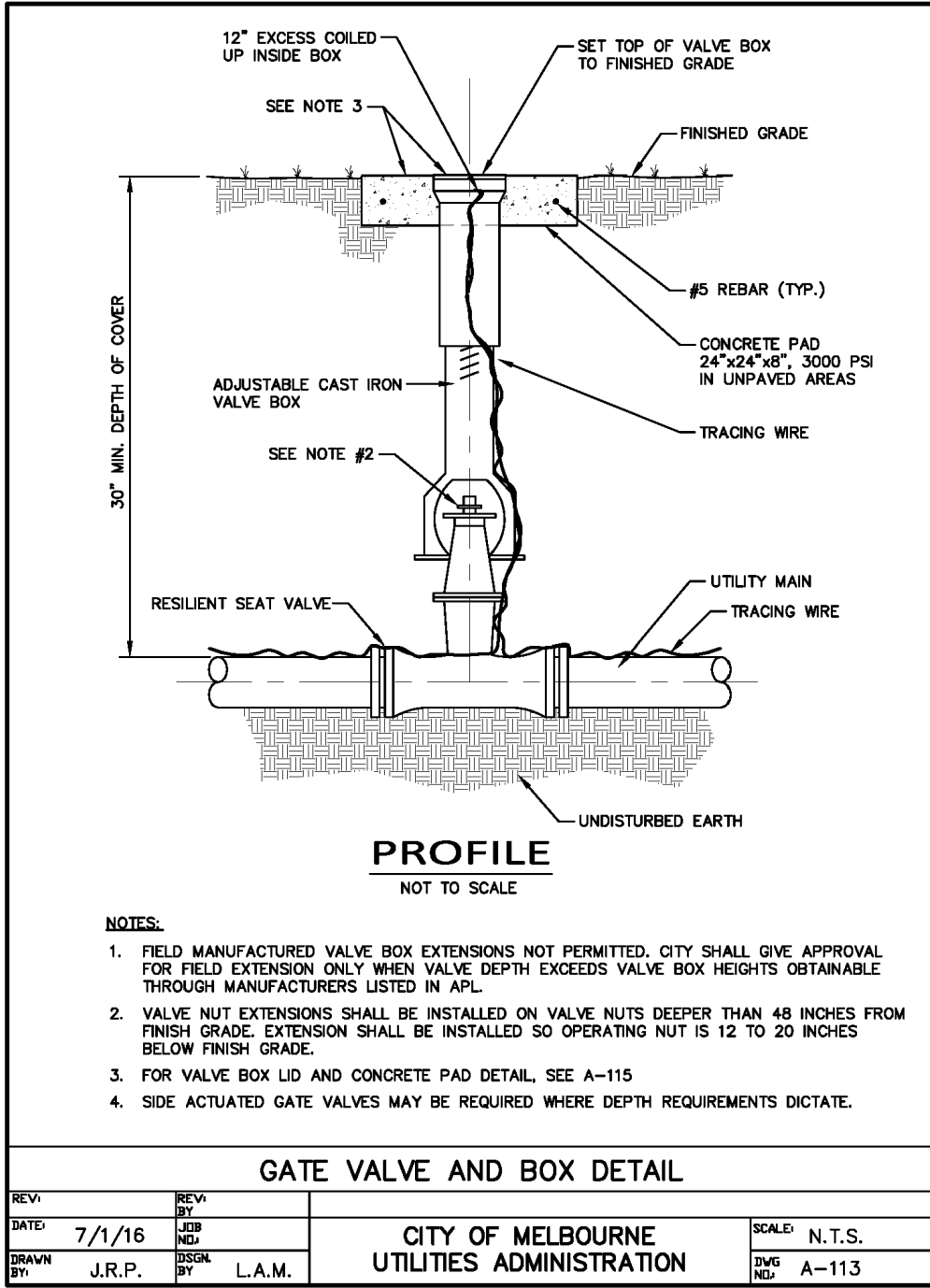
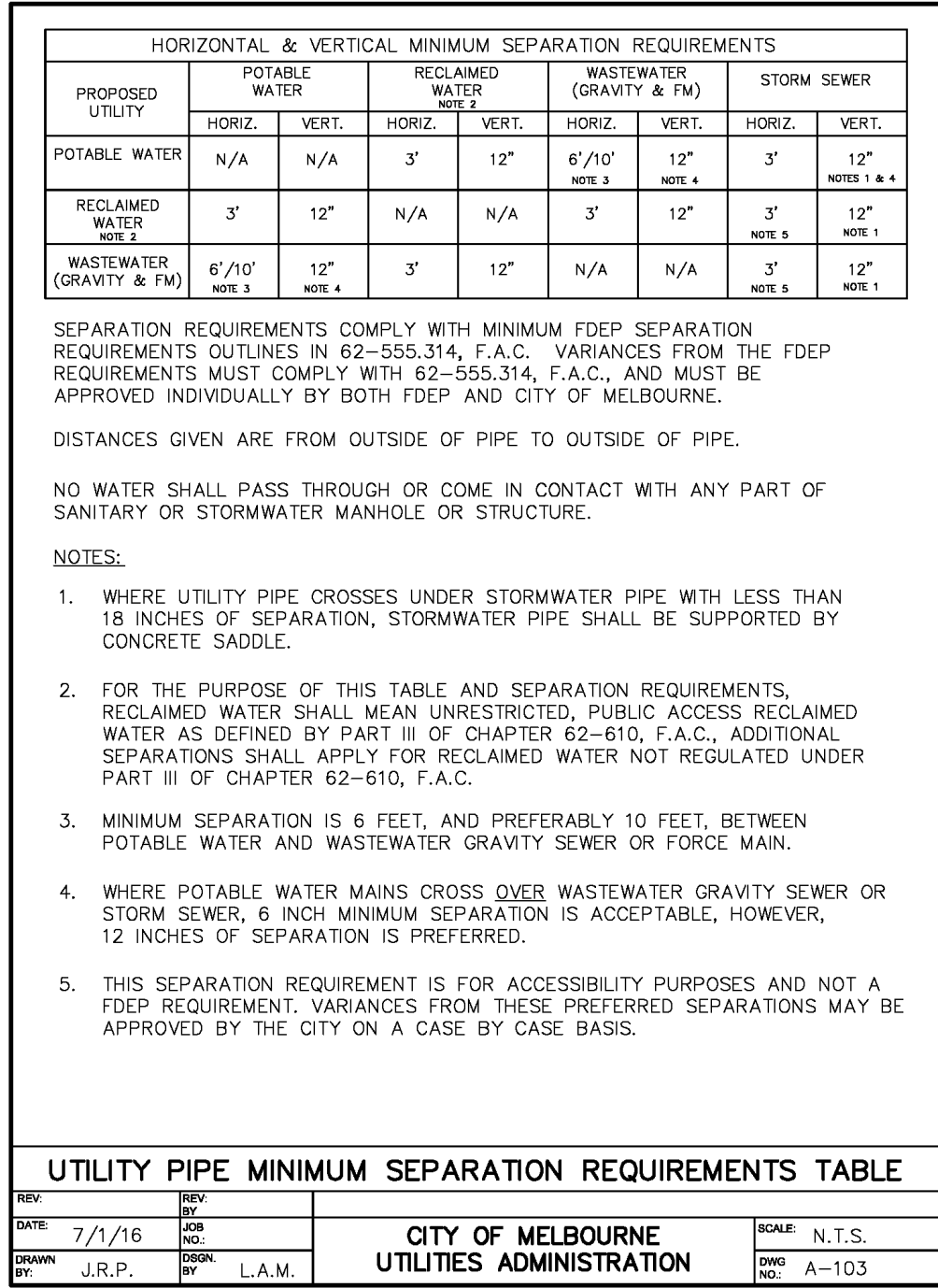
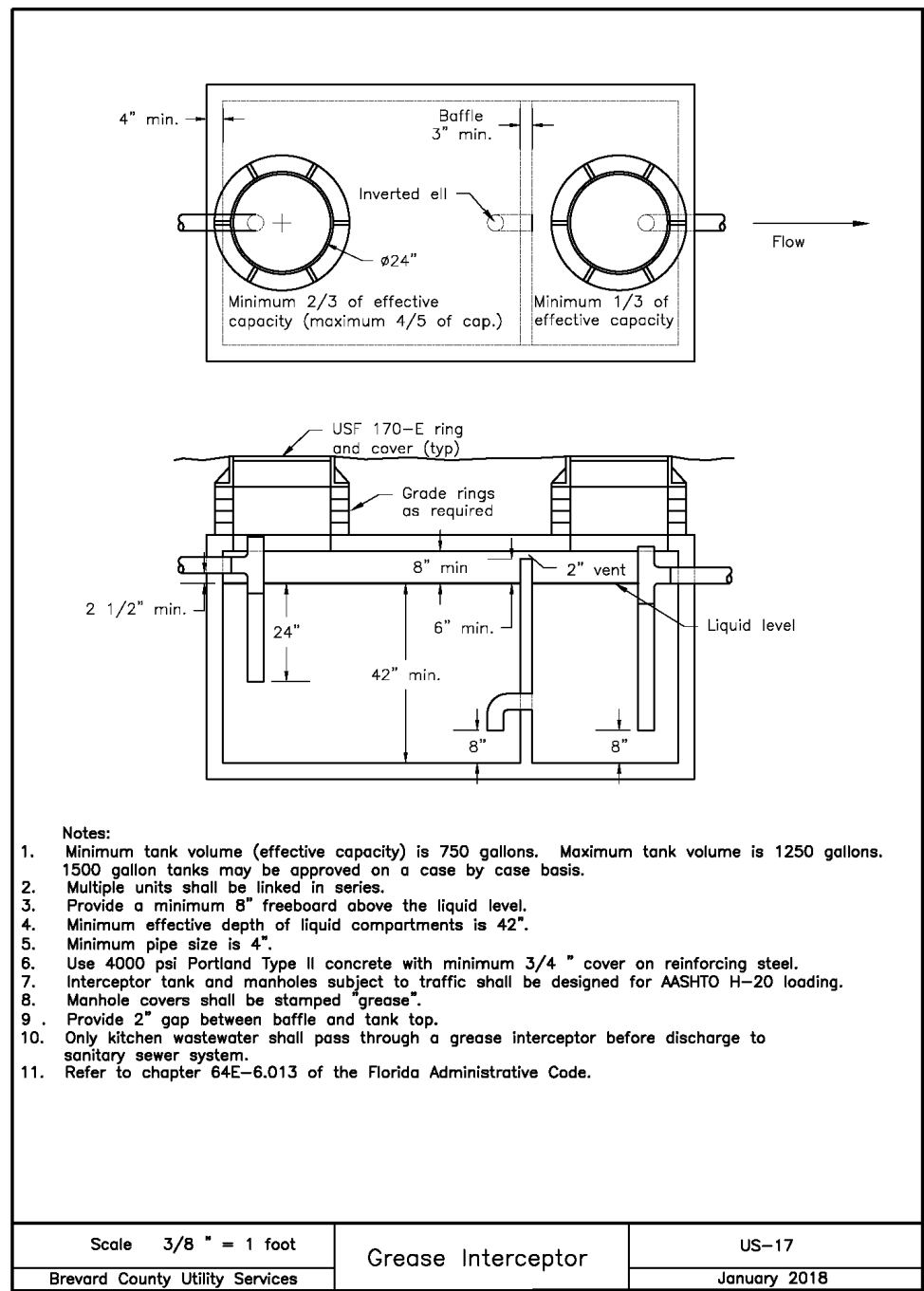
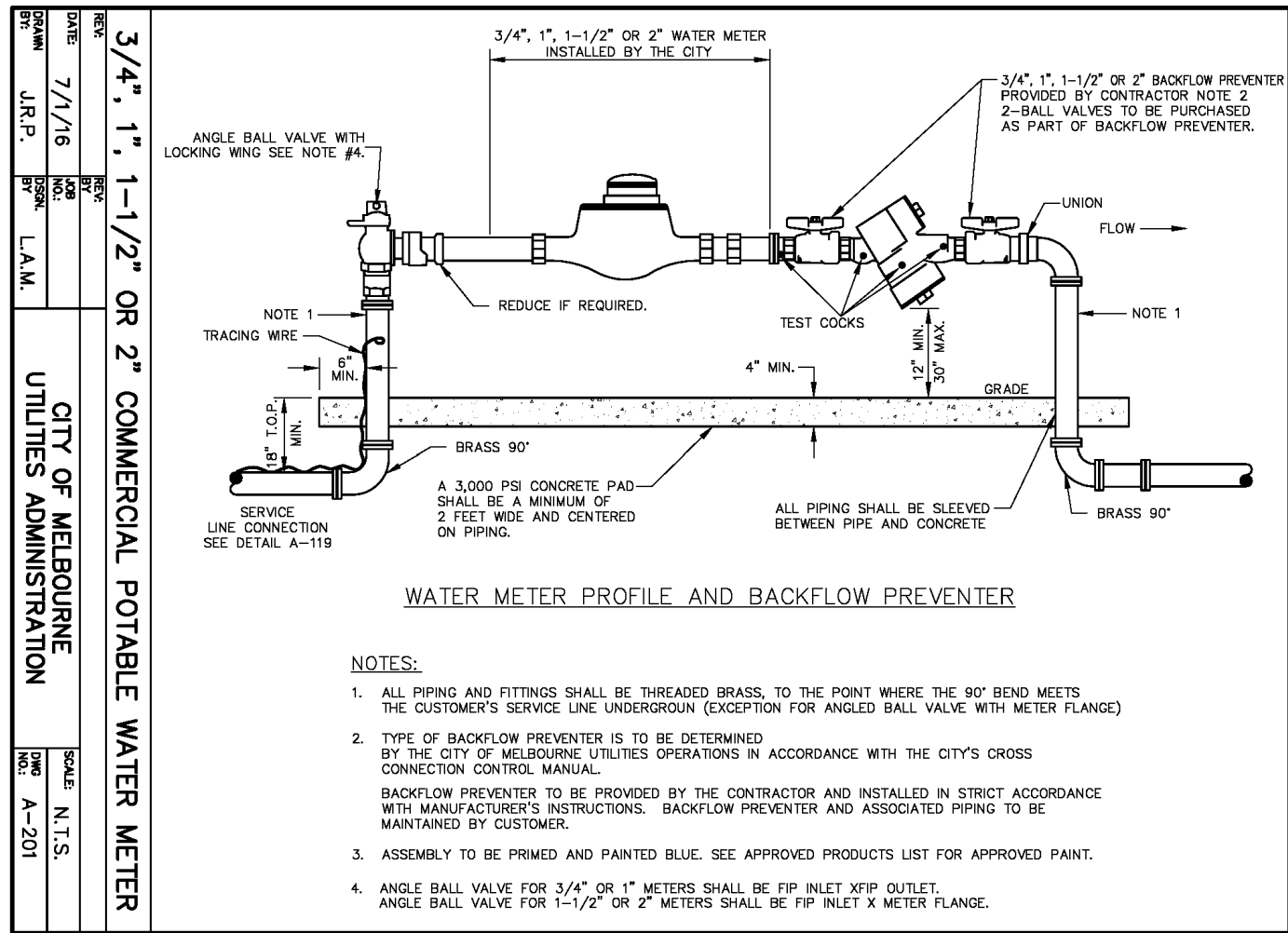
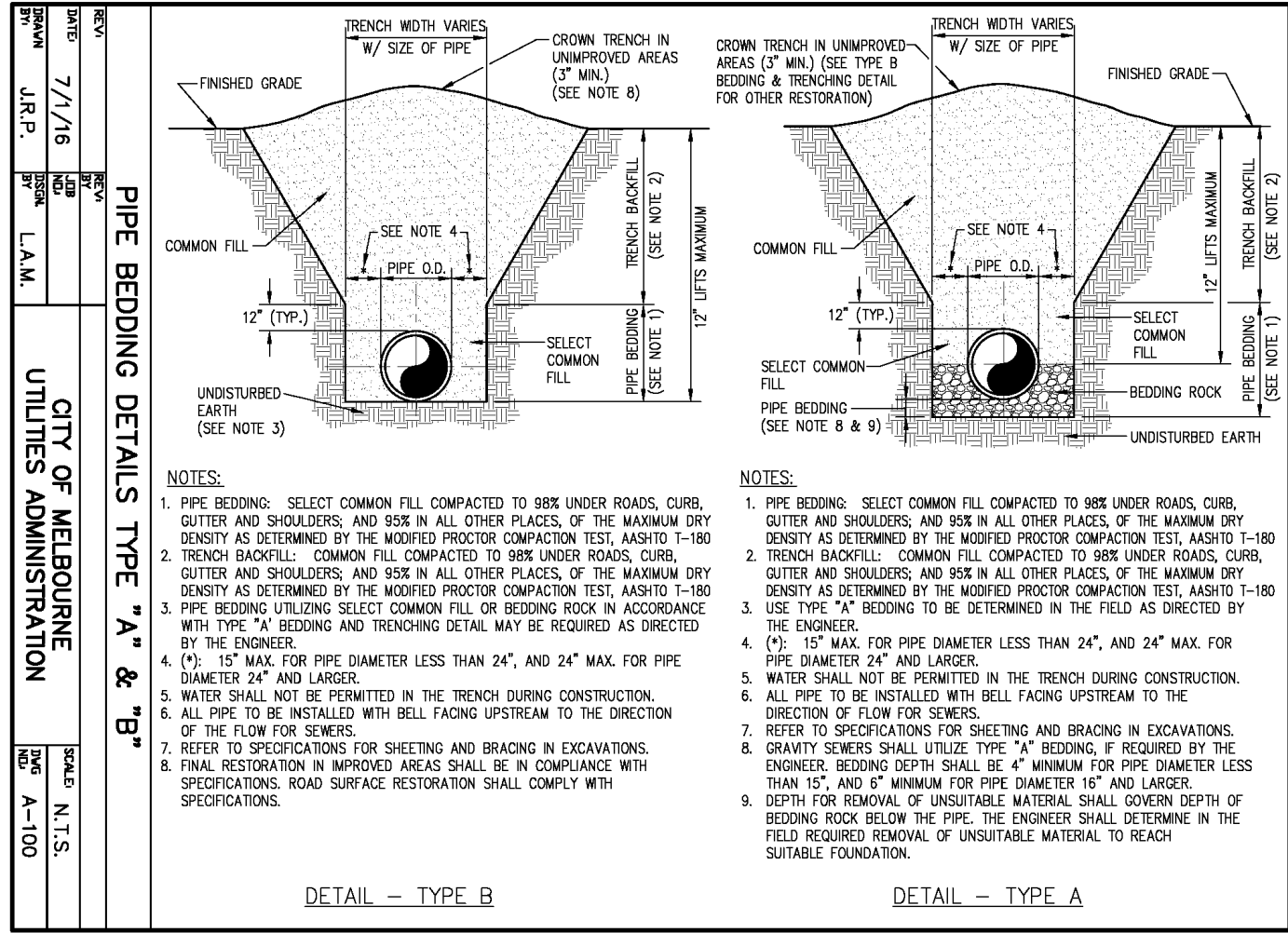
BRUCE A. MOIA
LICENSE
No. 47529
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

BRUCE A. MOIA
P.E. #47529
DATE
4/20/2021

SHEET

C-10

20-1060
PRELIMINARY SET



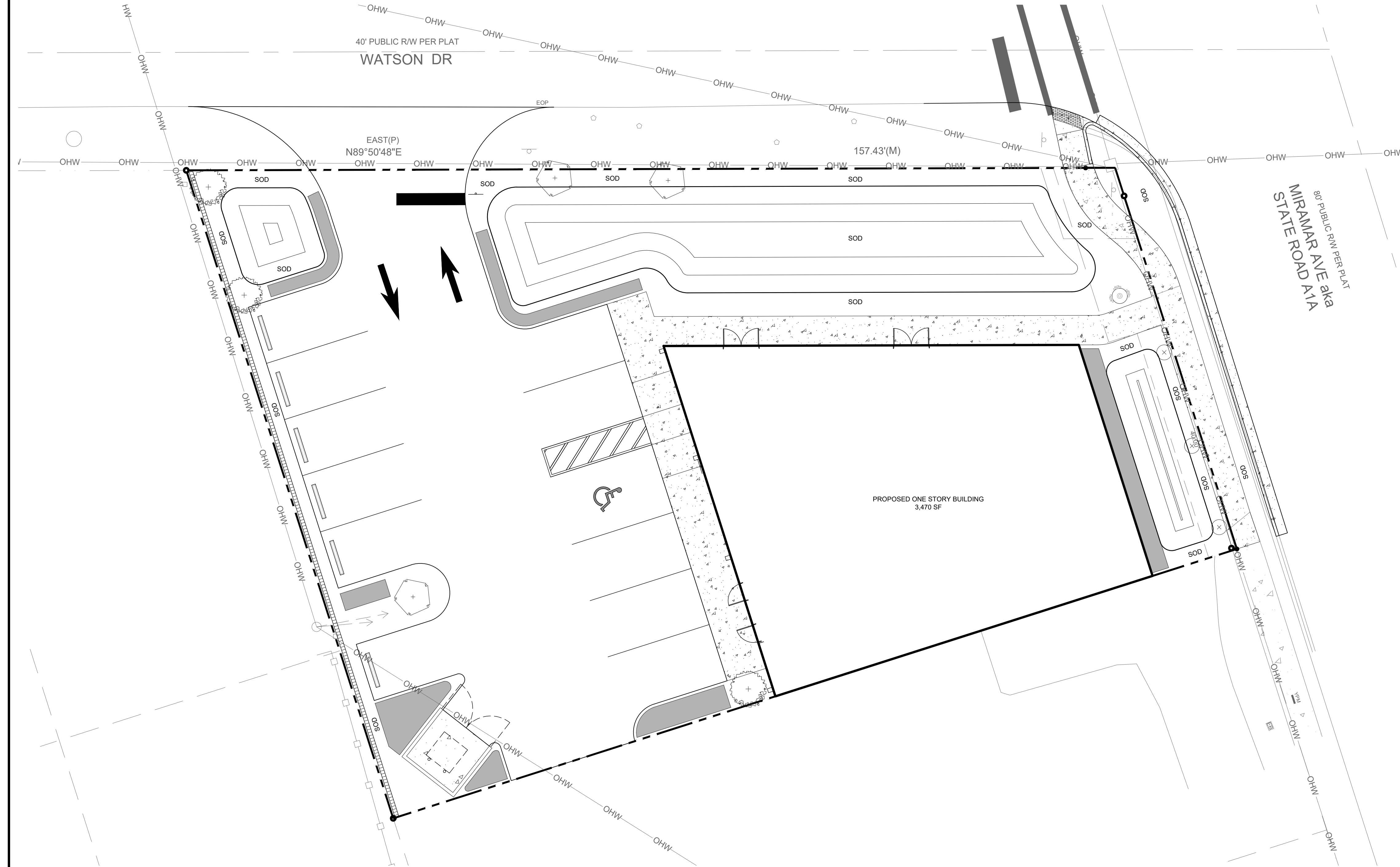
MBV ENGINEERING, INC.

BRUCE A. MOIA LICENSE No. 47529 STATE OF FLORIDA PROFESSIONAL ENGINEER

DATE 4/20/2021

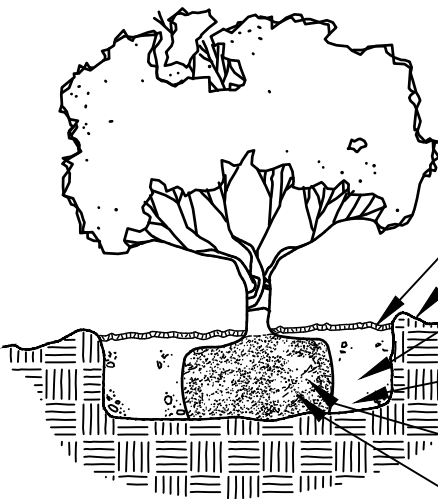
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AUTOCAD 2010



LANDSCAPE NOTES

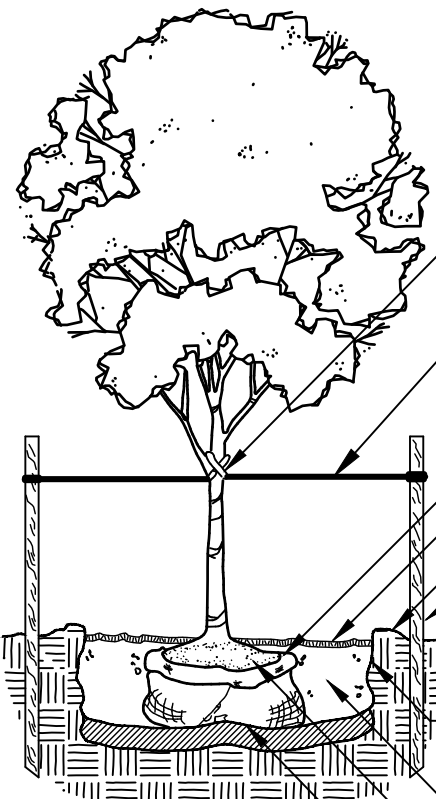
1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF TOWN OF INDIANTLANTIC LAND DEVELOPMENT REGULATIONS.
2. ALL PLANTING BEDS SHALL BE FULLY MULCHED TO A DEPTH OF 3" WITH A BARK OR SHREDED ORGANIC MATERIAL MULCH.
3. ALL LANDSCAPED AREAS SHALL BE 100% IRRIGATED WITH AN AUTOMATIC SPRINKLER SYSTEM. AN IRRIGATION PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION OF THE IRRIGATION SYSTEM.
4. AREAS NOT INDICATED AS PLANTING BEDS CONTAINING TREES AND/OR SHRUBS SHALL BE FULLY SODDED.
5. ALL LANDSCAPE MATERIALS SHALL BE FLORIDA NO. 1 OR BETTER AND FREE FROM PESTS AND DISEASE.
6. ALL SHOCKED LANDSCAPE MATERIALS (LEAFLESS, MOSTLY LEAFLESS) WILL NOT BE ACCEPTED AS FLORIDA NO. 1 MATERIAL. ALL REQUIRED MATERIAL MUST MEET FLORIDA NO. 1 STANDARDS AT THE TIME OF CERTIFICATE OF OCCUPANCY INSPECTION.



- 3" MULCH (CYPRESS MULCH SHALL NOT BE UTILIZED)
- FORM SAUCER WITH 3" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE
- PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER FOR ROOT BALLS 2' AND UNDER OR 2' LARGER IN DIAMETER FOR ROOT BALLS OVER 2'.
- BACKFILL AROUND ROOT BALL BY MIXING 1/3 PREPARED PLANTING SOIL AND 2/3 EXISTING SOIL.
- PLANT TOP OF ROOT BALL EVEN WITH FINISHED GRADE
- PLACE ROOT BALL AT BOTTOM OF PLANTING PIT ON UNDISTURBED SUBGRADE

SHRUB/GROUNDCOVER PLANTING DETAIL

N.T.S.

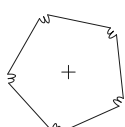


- PLACE RUBBER HOSE ON WIRE AT ALL POINTS OF CONTACT WITH TREE
- PLACE 3 GALVANIZED GUY WIRES (DOUBLE STRANDS), OF SUITABLE STRENGTH FOR TREE, SPACED EQUAL DISTANCE AROUND TREE ABOVE FIRST LATERAL BRANCH AND 6-9" FROM TOP OF STAKE.
- REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL IF APPLICABLE
- 3" MULCH (CYPRESS MULCH SHALL NOT BE UTILIZED)
- FORM SAUCER WITH 4"-6" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE
- 2"x2"x10" WOOD STAKE DRIVEN 3" BELOW GRADE
- PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL PLUS 6" FOR SETTLING LAYER OF COMPACTED BACKFILL. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER OF ROOT BALL
- BACKFILL AROUND ROOTBALL AS SPECIFIED
- PLANT TOP OF ROOTBALL EVEN WITH OR SLIGHTLY HIGHER THAN FINISHED GRADE
- PLACE ROOTBALL AT BOTTOM OF PLANTING PIT ON 6" LAYER OF COMPACTED BACKFILL

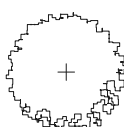
TREE PLANTING DETAIL

N.T.S.

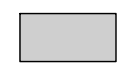
LANDSCAPE LEGEND



SOUTHERN MAGNOLIA (3 TREES)
MAGNOLIA GRANDIFLORA
(10' MINIMUM TRUNK HEIGHT, 2" MINIMUM CALIPER AT PLANTING)



LITTLE GEM MAGNOLIA (3 TREES)
MAGNOLIA GRANDIFLORA
(10' MINIMUM TRUNK HEIGHT, 2" MINIMUM CALIPER AT PLANTING)

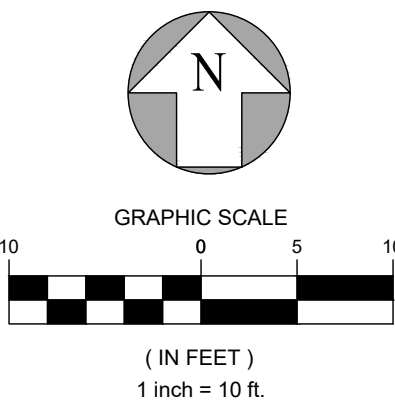
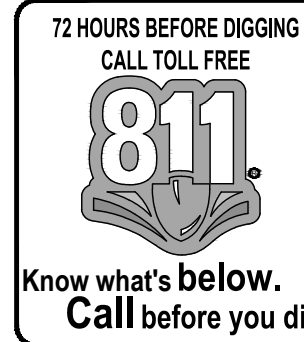


430 SF INTERIOR PARKING LANDSCAPE
AREA (SHRUBS/GROUNDCOVERS
FLORIDA NATIVE & SALT TOLERANT)



SHRUB (3 SHRUBS)
FLORIDA NATIVE & SALT
TOLERANT

IMPERVIOUS AREA = .215 AC. = 68.04%
LANDSCAPE AREA = .101 AC. = 31.96% > 5% LANDSCAPE AREA REQUIREMENT
(INCLUDES OPEN SPACE SODDED, INTERIOR LANDSCAPE AREAS & DRY RETENTION AREAS)



NO.	REVISIONS	DATE
1	INDIANTLANTIC, FDOT, COUNTY COMMENTS	02-16-2021
2	COMMENTS	XX-XX-XXXX
3		
4		
5		
6		
7		
8		

JOB NO.	20-1060
DESIGNED	TAC
DRAWN	AFR
DATE	10-22-2020
CHECKED	BAM
DATE ISSUED	4/20/2021

MBV ENGINEERING, INC.
MOA BOWLES VILLANAZ & ASSOCIATES
Civil • Structural • Surveying • Environmental
1250 W. EAU GALIE BLVD, SUITE H
MELBOURNE, FLORIDA 32935
P: 321-989-0035
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ALSO WITH OFFICES IN:
VERO 772-999-0035, FT PIERCE 772-999-9056, PALM CITY 772-498-9959

LANDSCAPING PLAN

TIFFANY'S BEACHSIDE

BRUCE A. MOIA
P.E. 847529
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE: 4/20/2021
SHEET
L-01
20-1060
PRELIMINARY SET